





“WE DO NOT INHERIT THE EARTH
FROM OUR ANCESTORS -
WE BORROW IT FROM OUR
CHILDREN.”

- Author Unknown



MASTER PLANNING TEAM

DEVELOPER:
INDIGO RUSH

LANDSCAPE ARCHITECT
& CIVIL ENGINEER:
LANDDESIGN

ARCHITECTURE:
505DESIGN

BRANDING:
BONDIR

SECTIONS

- 04 Introduction to Kettlesong
- 06 Our Vision
- 14 Architectural Guidelines
- 56 Landscape Guidelines





— Creating enduring places in South Carolina where people want to live fully and naturally.

We've built our homes, families, and careers in the South Carolina upcountry, where we've come to appreciate the good life—connection to one another, to nature and to the hope of understanding that we shape tomorrow by how we live today.

We cultivate places by working with all interested parties to establish a vision and marshaling the support and resources required to bring people together as a community. We stay involved and maintain a long term commitment that ensures lasting success.

Indigo Rush is creating places where neighbors are known, skies are blue, and our Carolina porch swings sing. We know that there's a better way, and we're making sure it's done right, right here in our own neck of the woods.

live in wonder



PROPOSED AREA MAP

SOUTHWOOD MEADOWS

The path to a better world begins in our own backyard.

Everyone loves strong economic development. It's good for communities, and good for the people in those communities. But this development comes with a price.

As towns grow and prosper, they need schools, offices, retail, and roads for its residents. Providing these things usually means sacrificing natural areas. Sure, a few trees might be saved when clearing land for new development, but most will be gone. Forever. Replaced with asphalt and concrete. It's an unnatural pattern that continues to repeat itself all across America.

It's a pattern we want to change.

Anyone who lives in the upstate of SC would agree—it's beautiful here. It's beautiful because of our natural resources. From our creeks and rivers to our forests and meadows, we're lucky to call this part of the country home. It just feels good here. Natural.

But change is coming. Our region is growing. Fast. And when cities like Charlotte grow, more asphalt is laid. And more natural areas vanish.

We're proposing that an area of approx. 85 sq.mi., almost 65,000 acres in York and Chester counties become part of a regional greenway system that would save natural habitats and cultivate complete pedestrian-oriented communities.

Communities with bike trails and running paths, nestled in natural surroundings and connecting us to all the goodness mother nature has to offer. Communities, that are welcoming to business and have schools that you can walk to, all powered with new technologies. Whole communities.

Southwood Meadows is a bold approach to guiding future development in a way that both embraces new economic opportunities and celebrates our pristine natural wonderland. We believe that through sensitive land conservation, and connecting people to one another, we can leave this a place better than we found it, for our children, and their children's children. We live here and we want to keep what we have and make it better. We can do that by committing to a strategy of smart growth.



1



NATURE

Kids playing in an open field, a young family out on a afternoon bike ride, grandpa teaching his grandkid how to bait a hook while fishing alongside a stream. Play, exercise, and human connection are only a few of the many ways that we interact with the natural world. At Kettlesong we intend to make nature part of an everyday experience by creating an extensive park system that will be woven into neighborhoods and will serve as the 'connective tissue' of the development. An extensive system of hike and biking trails, abundant open space, and preservation of existing natural habitats will also be a way of reconnecting people to nature.

Heritage Habitat



2

COMMUNITY

What are the optimal set of conditions that encourage people to come together as a community? At the top of the list is walkability. A place that's easy to get around in without having to get in a car. To get people out and about we designed Kettlesong to be compact and efficient. We lined the streets with lots of trees that create shady sidewalks, created event-rich environments that get people out into the public square, and designed the architecture in a way that respects and compliments the people it serves. These things help to create the 'home place'.



3



20
- ESTD -
20



LEARNING

The average weight of a hummingbird is less than a nickel. It can fly backwards and upside down, and it's heart beats at about 250 times per minute. A hummingbird is also a math and science problem, and is vital to a healthy ecosystem as a pollinator. Look outside your window and you'll find a world that is not only spell bindingly beautiful but offers up many lessons for kids and grown ups alike. One of the main features at Kettlesong will be a K-8 elementary school that uses a 'Place-Based' curriculum to immerse kids in local heritage, landscapes, opportunities and experiences using these as a foundation for learning. PBE also emphasizes participation in service projects for the local community.



4



SUSTAINABILITY

We all want access to clean air, clean water, healthy food, a safe and secure community, and a future that our kids can enjoy. We are committed to becoming better stewards of the land and to ensure that we are doing our part to build communities that will endure. To that end, whenever possible, we will adopt best practices for stormwater management, integrate renewable technologies into our architecture and landscape design, provide access to locally grown produce, and utilize low-impact infrastructure. Kettlesong wants to be part of a world-wide transformation that enables people to live healthier, more socially responsible lives.

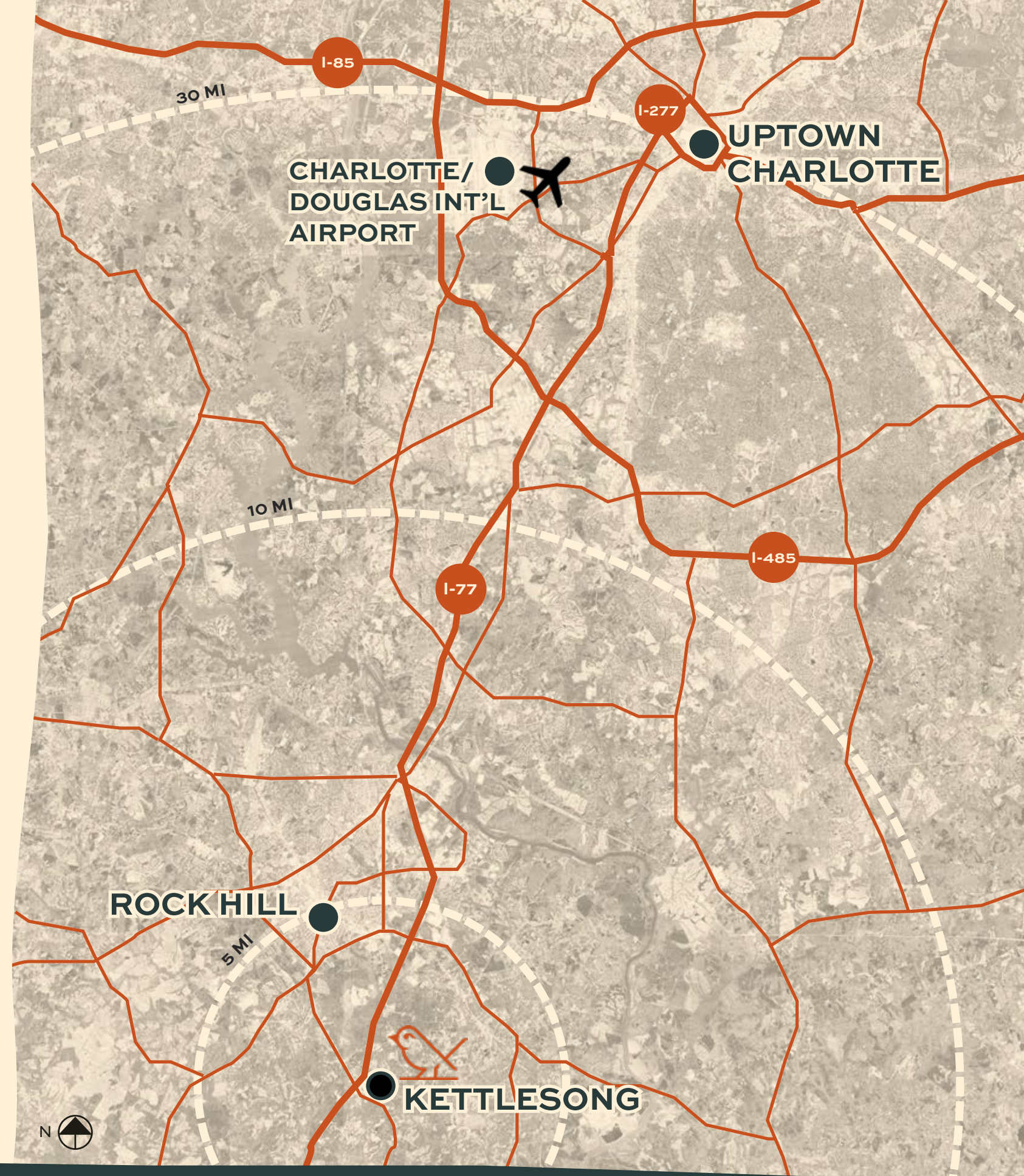
LOCATION & CONTEXT

REGIONAL CONTEXT

Geologically, the region is characterized by an undulating landscape of foothills and rolling countryside, remnants of ancient mountain chains we call the Piedmont or Midlands region of the Carolinas. The word 'piedmont' is actually derived from the Italian word 'Piemonte'- the "mountain foot".

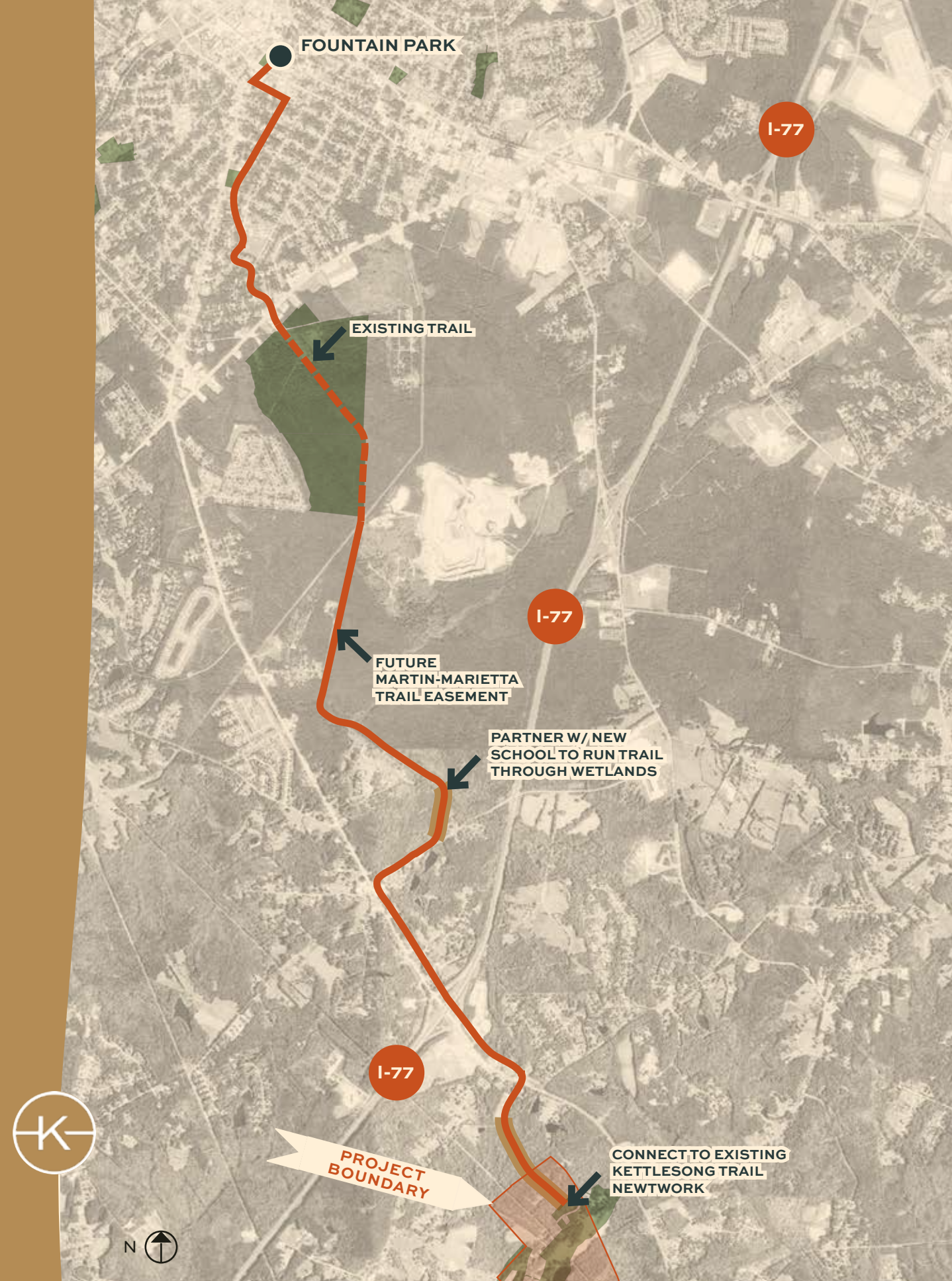
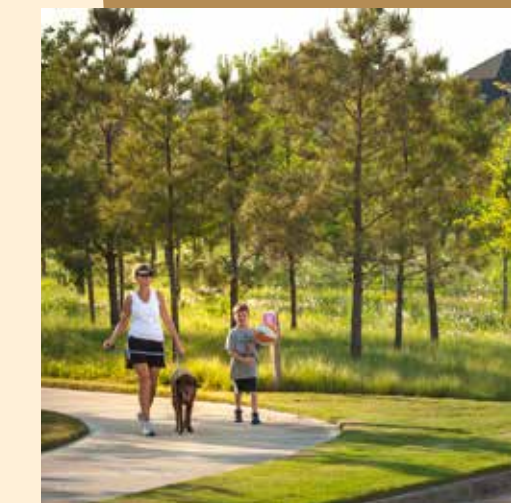
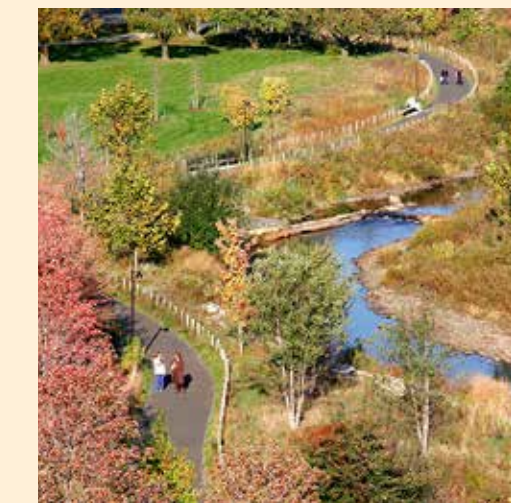
Geographically, the approximate 550 acre site at Kettlesong is located in York County, SC, about 30 miles south of Uptown Charlotte and Charlotte Douglas International Airport and about midway between Charleston in the SC low country and Asheville in the NC mountains.

Culturally, one of the most distinctive features of the regional heritage is the long and storied history of cotton farming, the dyes created by the indigo plant and the textile industry they spurred.



CONNECTION TO ROCK HILL

The Old Town District of Rock Hill is a short 15 minute drive north from Kettlesong. A way to connect by car is great. Even better, is a way to connect on foot or with a bike by creating a 'people link'. Community, one of the animating features of the project, suggests that we seek out opportunities to make connections with local neighborhoods and nearby districts. In keeping with that sensibility, we're proposing a greenway that would begin and terminate at Kettlesong and downtown Rock Hill. Not only would the greenway provide an amenity for anyone wanting to bike, run or walk in a pedestrian friendly environment but it would have the added benefit of rejuvenating a long overlooked part of the city.

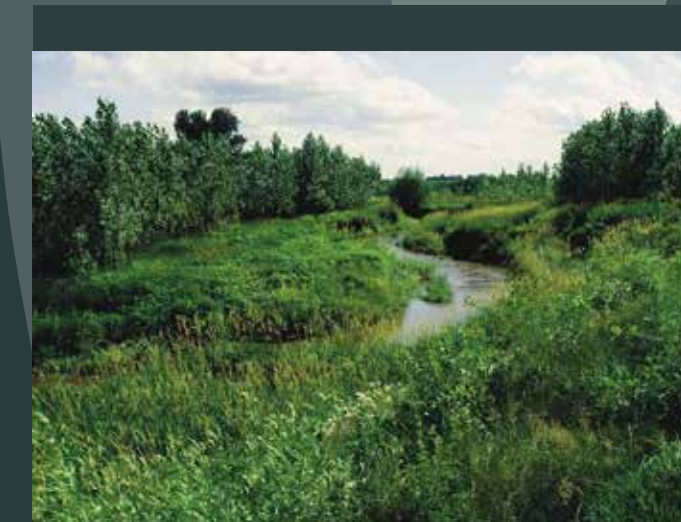
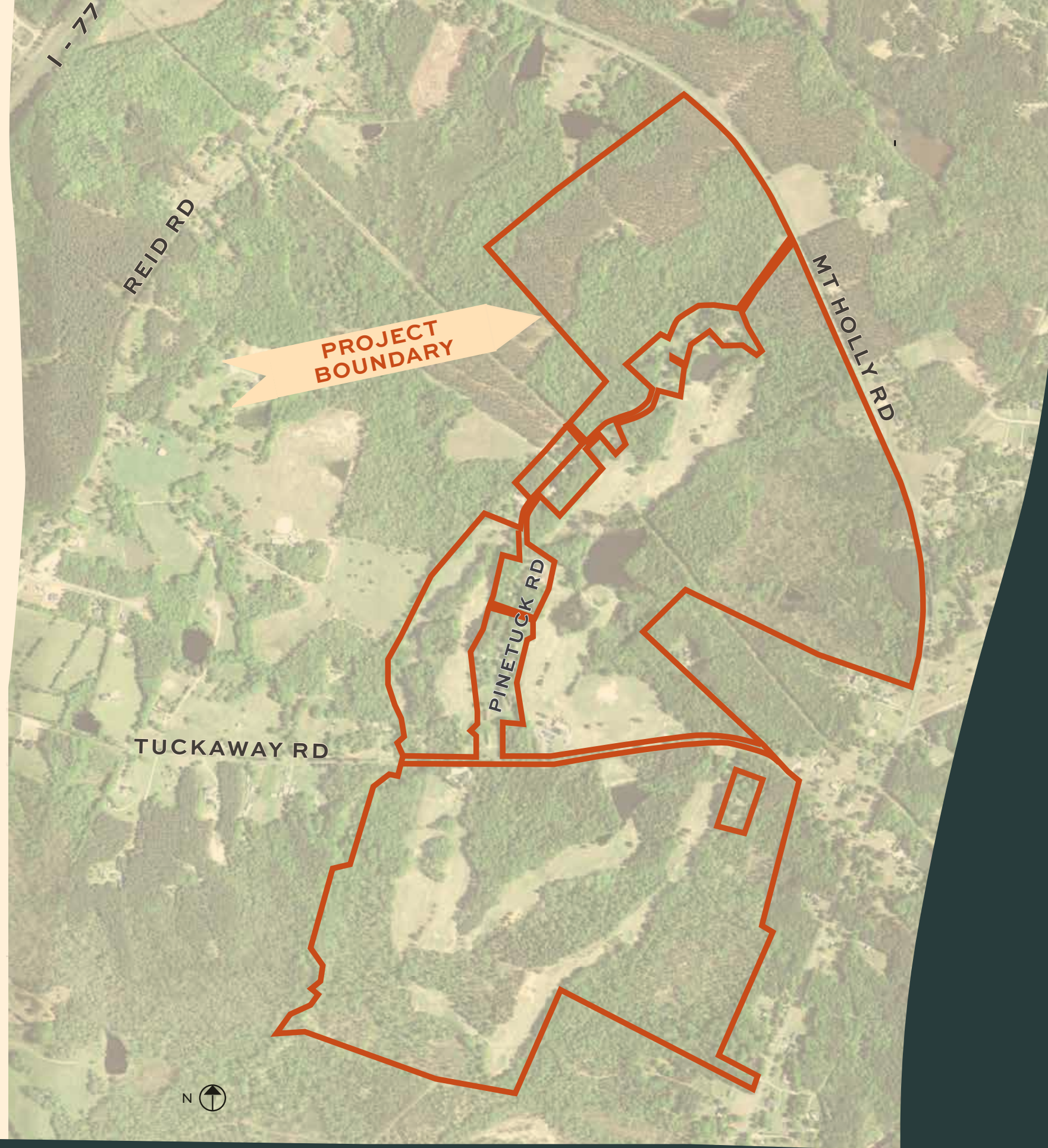


EXISTING CONDITIONS

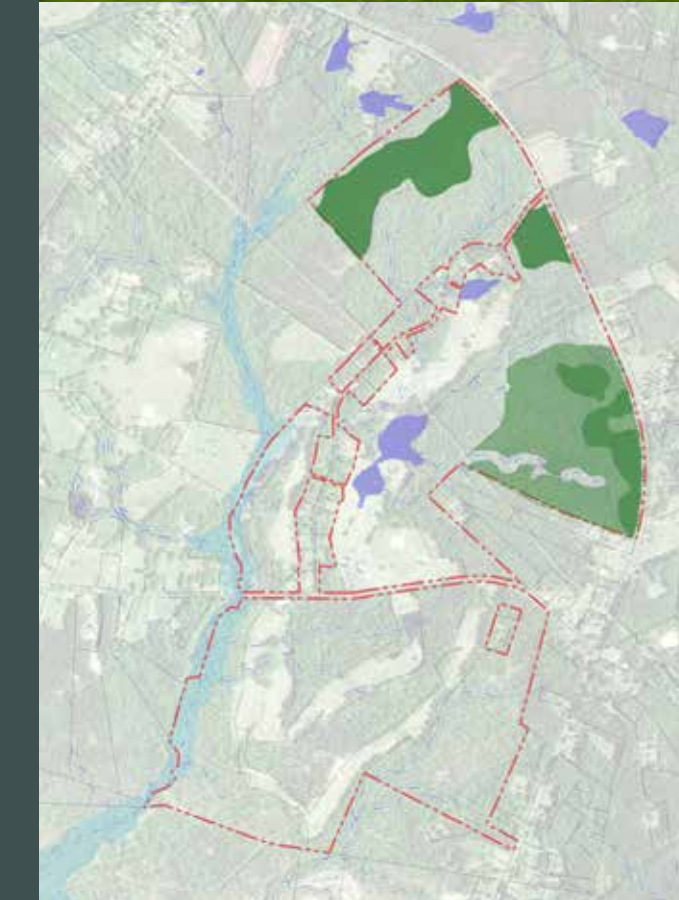
SITE CONTEXT

Kettlesong is situated approximately 1.5 miles south of I-77 along Mt. Holly Road. Environmentally, it is rich with water quality ponds, streams and buffers throughout the site. The existing golf course and it's fairways create visual relief among a mix of hardwoods, pines and replanted areas. These wooded areas create a natural buffer to adjacent proprieties and are one of the more prominent features of the site along with several natural valleys and dramatic viewsheds.

Kettlesong is located on approximately 550 gently rolling acres in York County, SC, about 30 miles from Uptown Charlotte and minutes southeast of Old Town District and University Center in Rock Hill. This location also affords easy access to outdoor recreation along the Catawba River just to the east. With close proximity to both urban and rural settings, Kettlesong provides ample opportunities to experience the best of both worlds and is designed to provide a unique blend of rural small town charm and a pedestrian lifestyle often found in larger cities.



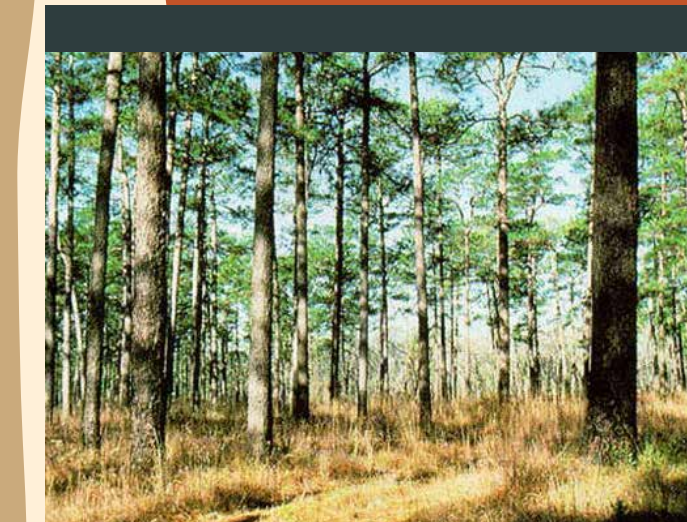
PONDS, STREAMS & BUFFERS



REPLANTING AREAS



CLEARED AREAS



MIXED HARDWOODS/PINES

EXISTING CONDITIONS

MASTER PLAN

THE HOME PLACE

As you make your way through the thicket of honeysuckle a crisp breeze welcomes you back onto the trail. The path, lined with tall pines is a crush of rock well worn from others that have explored these natural places. You can't yet see it, but the path leads to a clearing you know is there from the faint yowls and squeals of children playing in the not too far distance. A couple hundred yards later you emerge out onto a green the locals call the 'big field'. Google maps knows it more formally as 'Vernon Park'.

You scan the rolling expanse sprinkled with decades old giant oaks and poplars and follow the low stone wall that leads up to the village square defined by two rows of tight knit shops woven together with balconied upper floors and fanciful local art. There's always something going on there, but on this morning your impulse is to make your way over to the bakery where you'll share some gossip and eat the best pastry in the world.

Adopting a town & country approach to community building, Kettlesong is the first of what is intended to be a collection of vibrant, compact, mixed-use communities that protects wild places, prioritizes people above cars, and welcomes the wonder of a future world. These sibling settlements will be part of a larger patchwork in the area and will form a regional tapestry of sustainable, highly livable home places.



MAP KEY

1. Retail Village Center
2. Church / Civic Use
3. Multifamily units
4. Grocer
5. The Hub (Retail / Flex / Amenity)
6. School
7. The Great Park
8. Townhomes
9. Cluster Homes
10. The Hamlets
11. Overlook Park
12. Hamlet Pocket Parks / Amenities
13. Trail Network



ARCHITECTURAL GUIDELINES

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- 16 Inclusive : Mixed-Use
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- 20 Vernacular Tradition +
- 22 Climatic Response
- 24 Contemporary Vernacular
- 40 Neighborhood Pattern
- 46 Landmark Lots
- 47 Monotony Code
- 48 Details + Requirements

“Never doubt that a small group of thoughtful, committed citizens can change the world. Indeed, it is the only thing that ever has.”

- MARGARET MEAD



INCLUSIVE MIXED-USE STRATEGY



THE RIGHT MIX

As you fly over patchworked farmland, commercial buildings and intersecting roads Kettlesong comes into focus. Defined by a blend of residential rooftops and the characteristic flat roofs of local shops and businesses that appear, disappear then reappear again from a thick green blanket of tree canopy and shared open space that all seems to merge into a scene that just feels right.

Kettlesong's mixed-use plan represents an ongoing shift from conventional development models that tend to segregate uses and the people within those places to one that is patterned to be inclusive, diverse and welcoming. One model disconnects and separates, the other connects and affirms.

The mix of retail, civic, commercial and residential uses has been considered in a way that encourages seamless, inclusive experiences. On a whim, you can go shopping, or swing by a friend's home, attend your kids' elementary school recital, or sneak away to your secret place in the woods- all without need of a car. This is the alchemy of mixed-use.



RICH & DIVERSE EXPERIENCES



Varied uses, varied home types, sizes, and styles to fill the needs of diverse families and people of all ages and backgrounds.

WALKABLE + CONNECTED

A WORD ABOUT STYLE...

THE KETTLESONG AESTHETIC

Kettlesong is deeply rooted in the up-state of the Carolinas. This region of the Piedmont is marked by a unique combination of qualities. The climate, geography, culture, and rich history of agriculture & textiles have formed a compelling vernacular. This vernacular will guide us, but not necessarily define us. We embrace an aesthetic that combines a thoughtful response to the Upstate vernacular and an appreciation of contemporary style and the advantages of modern technologies and sensibilities. When we combine a respect for history with forward thinking we create a timeless curated collection of buildings that are more than just sticks and bricks. They form a framework of connections between neighbors and nature.

At Kettlesong, a set number of predetermined 'styles' won't define us. Rather, we'll be inspired by local history while we remain distinctly connected to the present and look toward the future. The Kettlesong style will include climatic response strategies that combines the tradition of simple, no-nonsense building forms with modern inventive solutions that are responsible and economical.

These guidelines lay out key concepts which have been carefully researched and developed for both historical/vernacular appropriateness and for modern effectiveness.



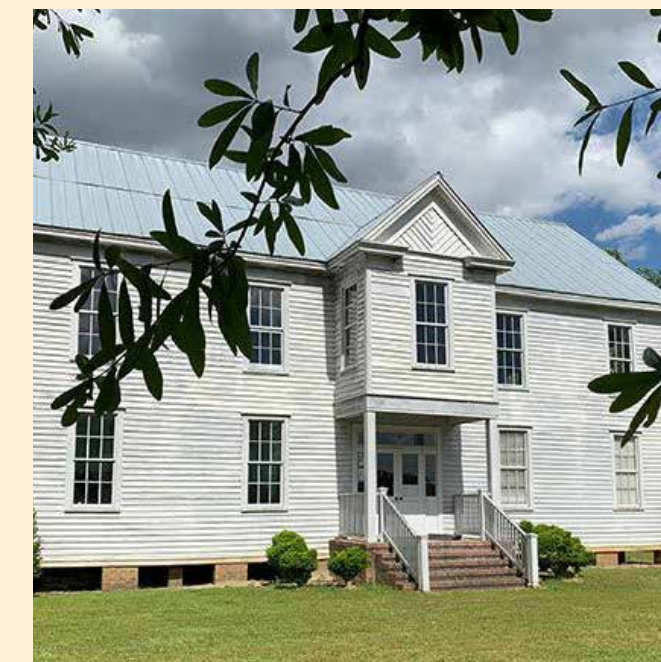
KETTLESONG STYLE

UPSTATE CAROLINA HERITAGE

Rolling hills, temperate winters, hot humid summers, the call of a carolina wren... Climate and landscape have had a profound effect on the vernacular architecture and the culture of the Upstate. Indigenous materials from the clay of the earth, to the hard woods of the forests - the dominate materials of historic architecture continue to inform regional building design and construction today.

The simple utilitarian forms of traditional agrarian and industrial buildings evolved in response to sweltering heat, bountiful sun and humidity, generous rains, and mild winters.

Narrow volumes and gabled roofs shed the rain and admit natural light into the center of a home or a barn. Deep overhangs, screened porches and dog trots for cross-ventilation made summers tolerable before the advent of air conditioning. Large windows and doors, often with slatted shutters allow air to move through a building without admitting the mid-day summer sun.



Wood vernacular



Masonry vernacular



Contemporary vernacular influence



THE KETTLESONG VERNACULAR

ROOTED IN THE VERNACULAR

SIMPLE FORMS + CLEAR HIERARCHY

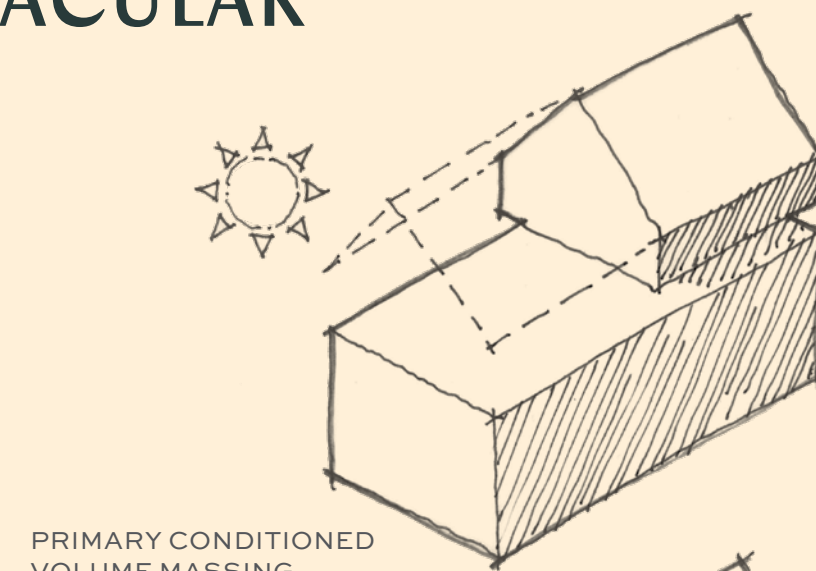
While elements of house form often respond to climatic, architectural elements like gables, columns and porches also carry historical significance, and can foster a sense of community. Clean simple details feel familiar and comfortable. A shady, open porch welcomes neighbors and provides casual opportunities for shared experiences.

CARVED AND ADDITIVE PORCHES

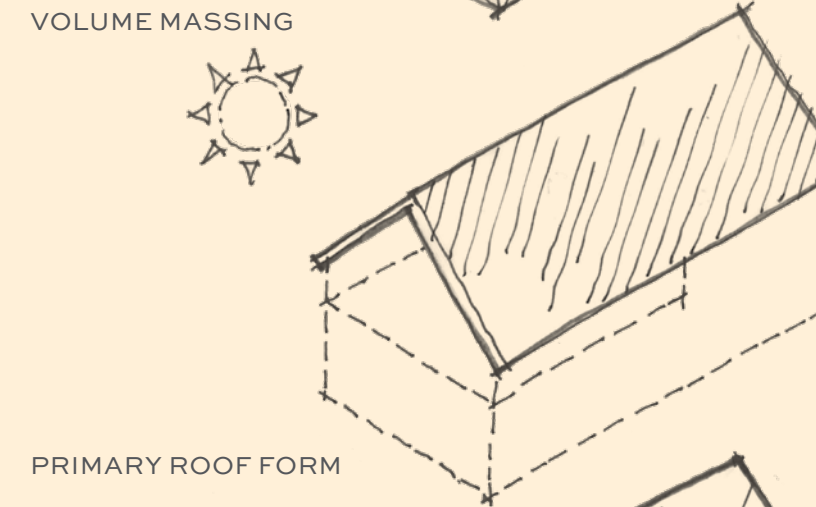
Select materials that contribute to healthy indoor air quality, reduce the home's energy footprint/impact, and compliment the design. Use local suppliers whenever possible.

SCALE AND DETAILS

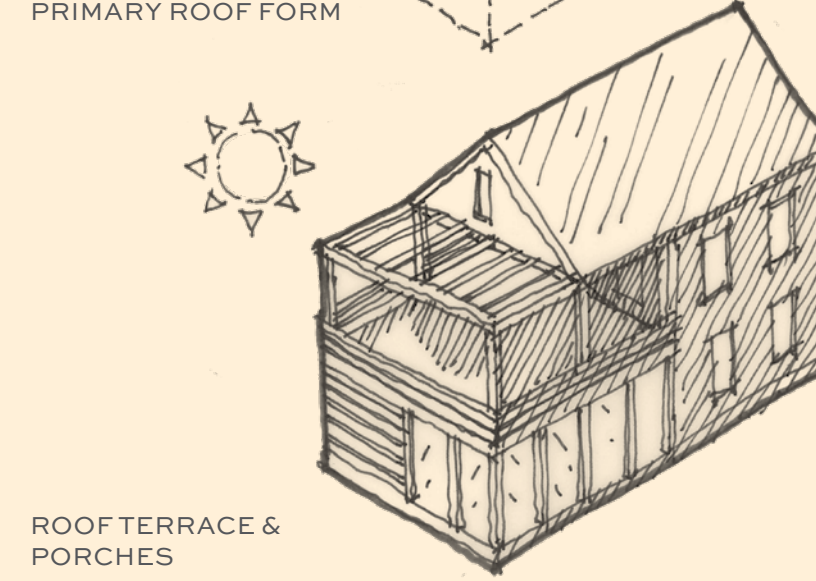
Focus on creating elements of the home that are relatable to the human scale. Our details should be thoughtful and derived from the world around us rather than bought on Amazon. We take a less-is-more approach to the design and detail of Kettlesong homes.



PRIMARY CONDITIONED VOLUME MASSING

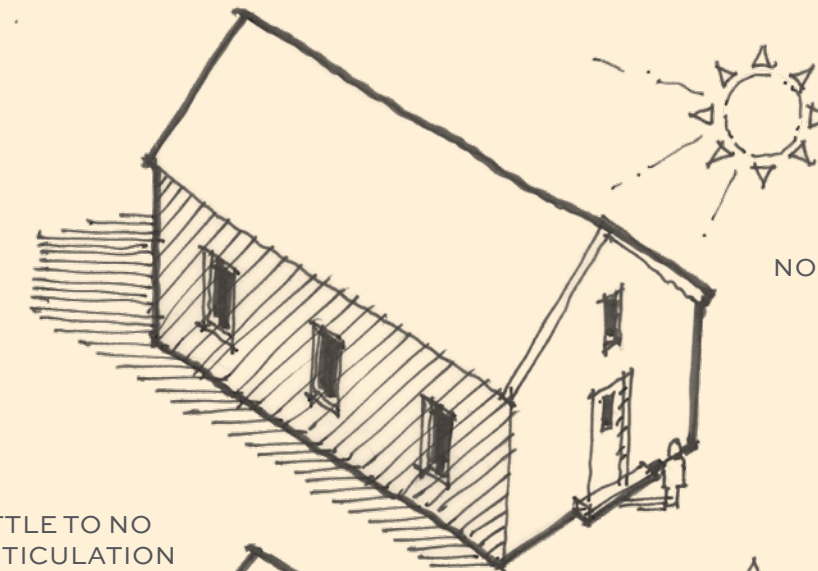


PRIMARY ROOF FORM

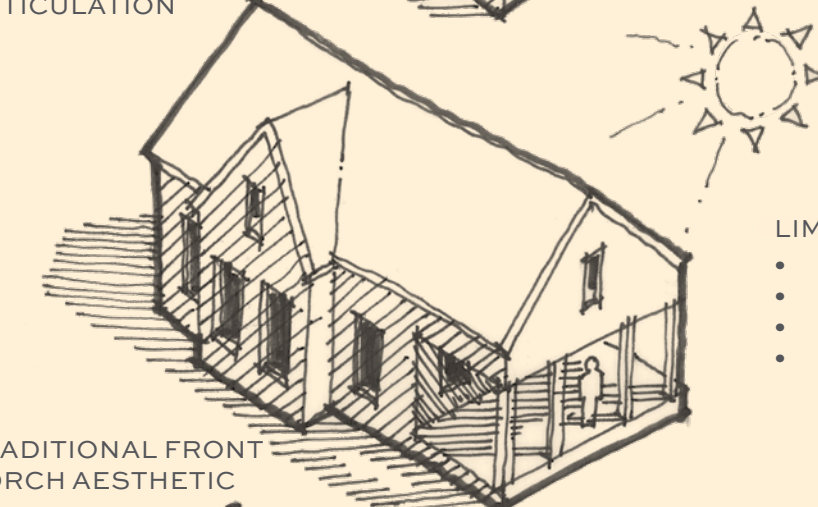


ROOF TERRACE & PORCHES

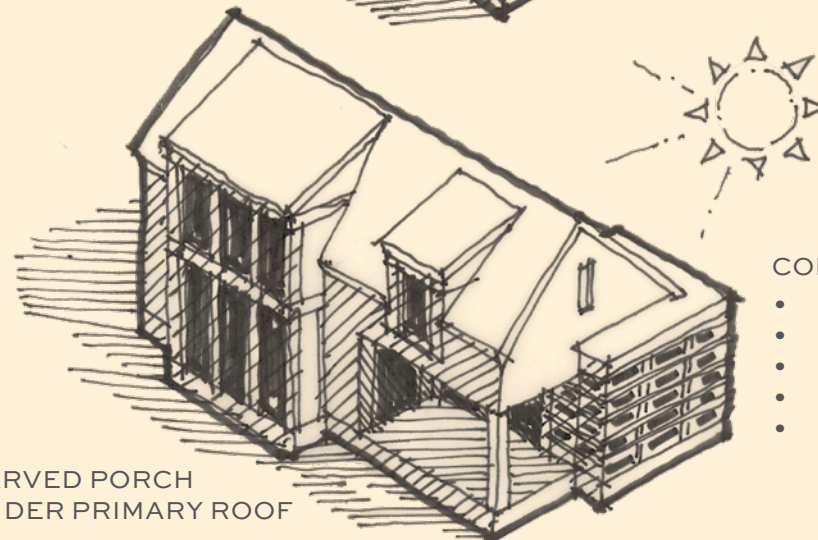
INTEGRATED OUTDOOR ROOMS



LITTLE TO NO ARTICULATION



TRADITIONAL FRONT PORCH AESTHETIC



CARVED PORCH UNDER PRIMARY ROOF

KETTLESONG PORCH

NO CLIMATIC RESPONSE

LIMITED EASE OF USE

- Front Porch Aesthetic
- Limited Seasonal
- Limited Use
- Limited Effectiveness

COMFORT + EASE OF USE

- 3/4 Season Use
- Screened or Glazed
- South + West Sun Control
- Efficient Windows
- Open Entry Porch

REGIONAL VERNACULAR

- Function Driven
- Regional Materials
- Climate Responsive
- Sustainable

"WIRED" HOME

- 'Smart' Tech
- Dumb House
- Excessive
- Not Sustainable

INTELLIGENT HOME

- Function Driven
- Flexible
- Climate Responsive
- People-controlled
- Next Gen Wireless Tech
- Year-round Indoor/Outdoor

TECH / INTELLIGENT HOME

ORIGINAL FORM

INCREMENTAL GROWTH

MAXIMUM UTILIZATION

SMART GROWTH OVER TIME

- Happy Move in Day!

- Home Office
- Art Studio / ADU
- Extended Family

- Multi-generational
- Work From Home
- Max HSF
- Indoor / Outdoor

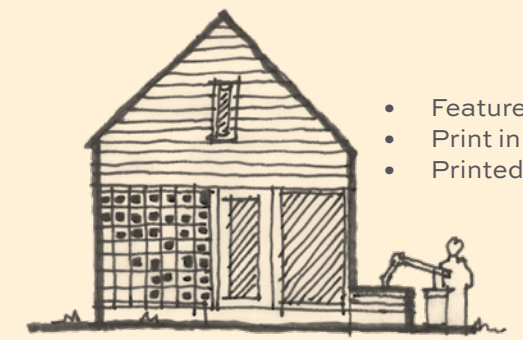
KETTLESONG VERNACULAR



FIRED CLAY BRICK



TERRACOTTA RAINSCREEN & SHAPES



3D PRINTED CLAY SYSTEMS

REGIONAL MATERIALS

- Structure
- Thermal
- Wet/Drying

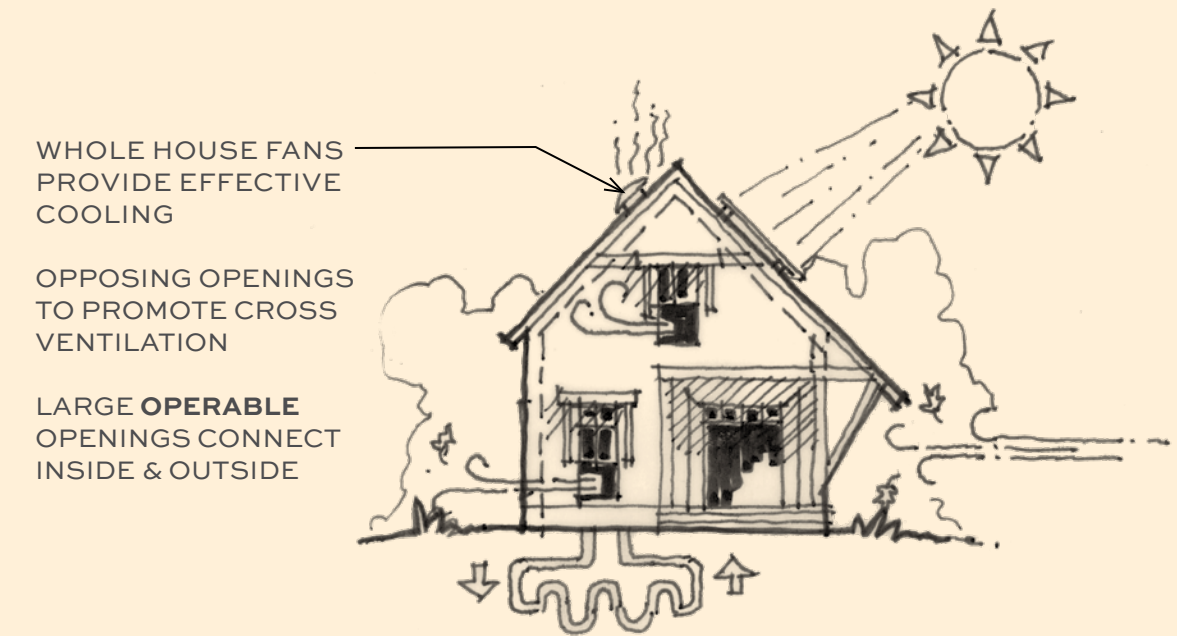
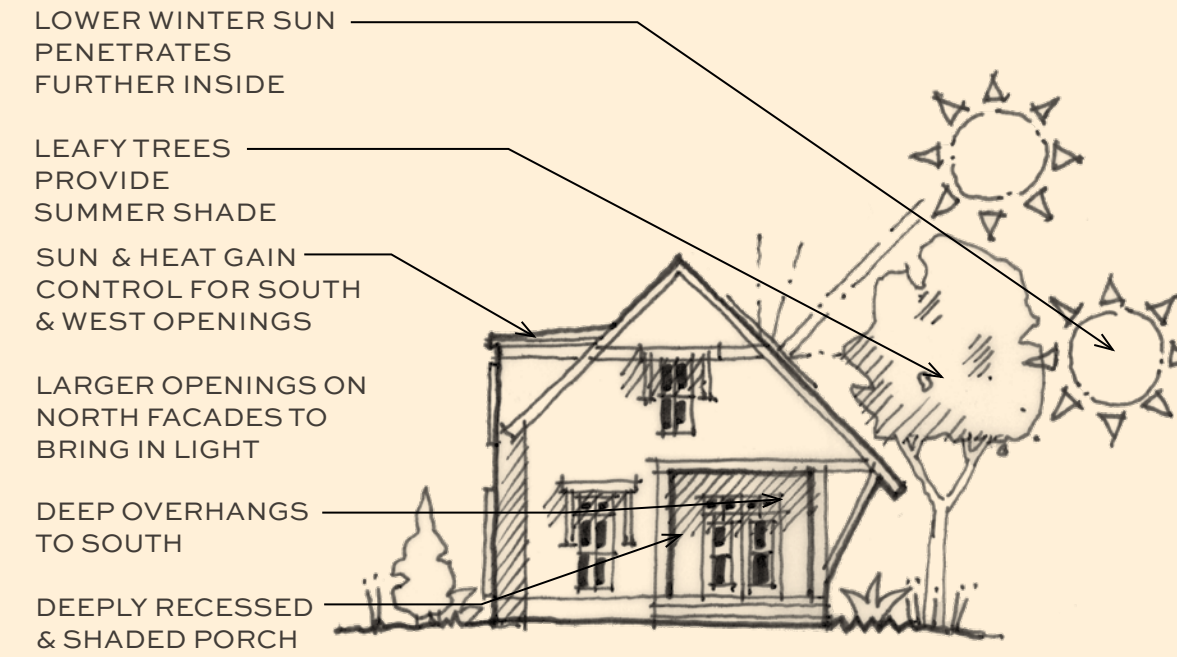
- Rainscreen Systems
- Brise Soleil Shading
- Open air profiles support ventilation

- Feature Future Materials
- Print in Place
- Printed & Fired Units

CLIMATIC RESPONSE

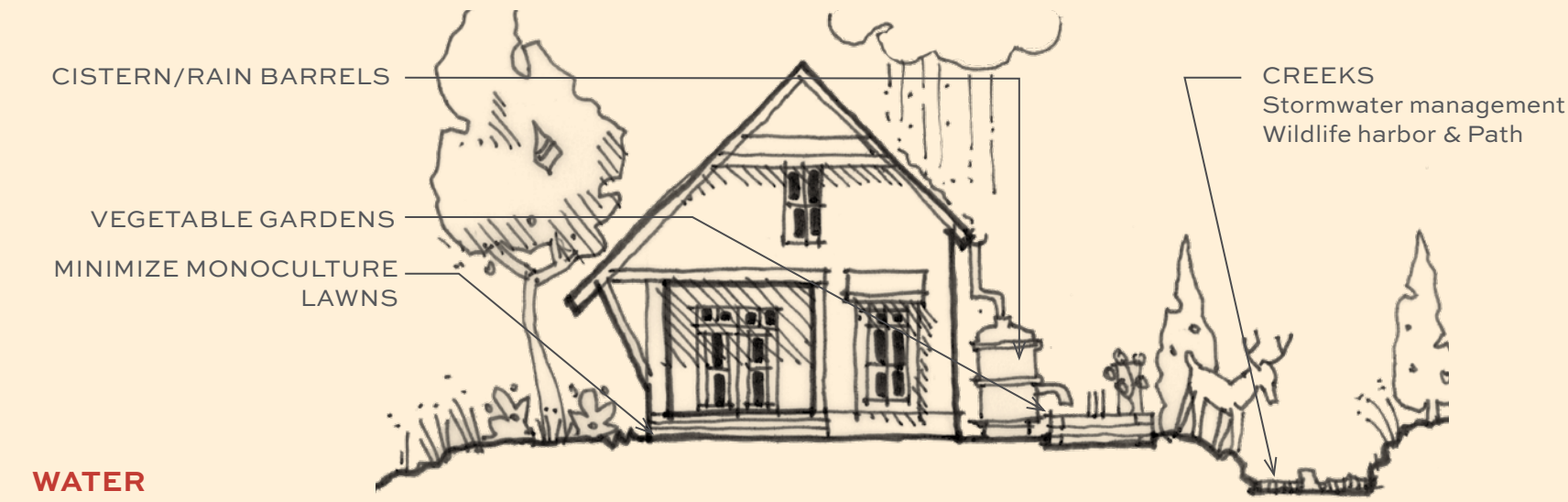
One of the driving forces of Kettlesong is respect for and a connection to our land and local climate. Our goal is to create a place that is affordable and will be sustainable for future generations. We call it a climatic response, but you can call it green building, sustainability, high-performance construction. At the end of the day, Kettlesong homes should be thoughtfully conceived, designed, and executed always with climate in mind.

When designing for high levels of efficiency, it is most important to think about the overall system rather than singular items. An expensive SEER-20+ HVAC system will have diminished life-cycle impact if the home it serves has only code minimum insulation and it is not tightly sealed. Additionally, many of today's most technologically advanced products can often be rivaled by simply taking advantage of the site, solar orientation, and the surrounding landscape. That said, the Climatic Response at Kettlesong is meant to be a simple, no-nonsense approach as spelled out in the diagrams.



PASSIVE SOLAR & VENTILATION STRATEGIES

Traditionally, a home's orientation to the sun was critical to providing passive heat and cooling to a home. Kettlesong homes should strive to take advantage of prevailing winds, use mature deciduous landscape to shield summer sun, and allow natural light to fill the home. When using solar panels, large roof planes should face south.



WATER

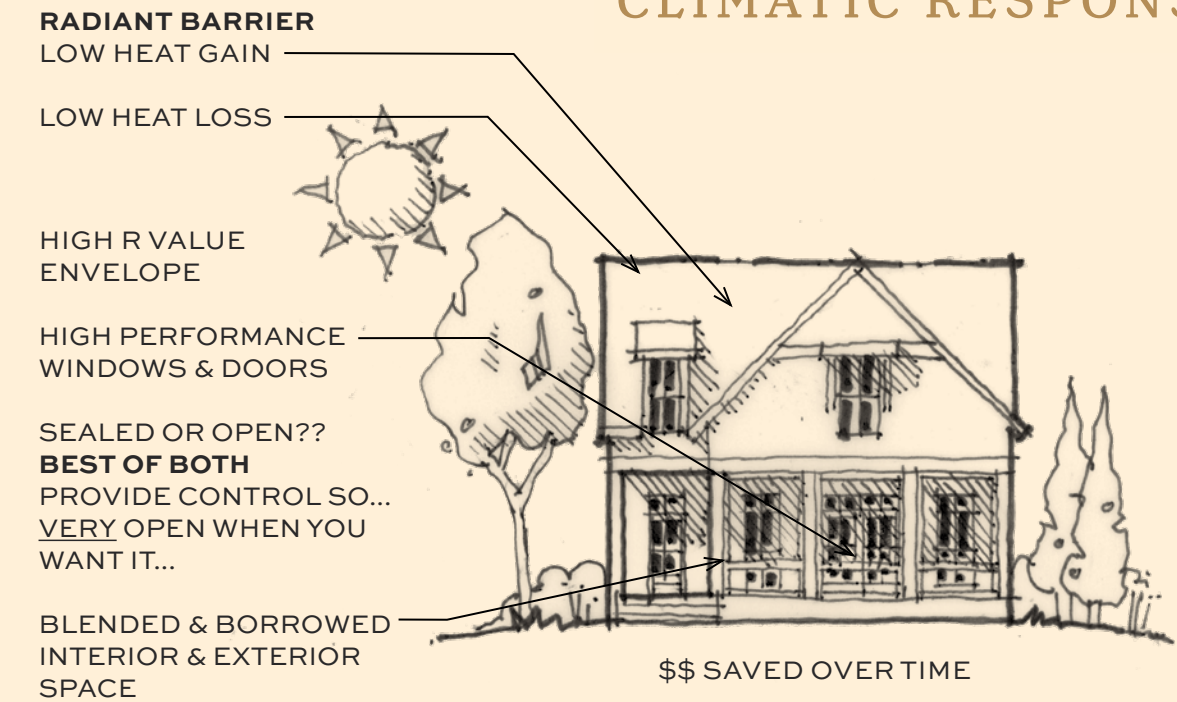


PLANT LIFE



PEOPLE

CLIMATIC RESPONSE



HIGH PERFORMANCE THERMAL ENVELOPE

DOORS, WINDOWS, AND GLAZING

The weakest points of a home's thermal envelope are opening: doors, windows, and glazing. An efficient envelope has thermally broken windows and doors, use low-e glass (double-paned required, triple-paned encouraged), and robust weatherstripping/sealing against air infiltration.

MECHANICAL SYSTEMS

Many residential HVAC systems place air handlers and duct work in uninsulated attic or crawl spaces, and condensing units in direct sunlight, which causes the systems to work harder than necessary. At Kettlesong, encourage the homes to place the handler and duct work inside the thermal envelope of the building as well as screening/shading condensing units with landscape or building elements.

THE KETTLESONG VERNACULAR COTTAGES



STRATEGIES

- 1 Massing**
Streamlined forms and simple massing frequently with iconic gable forms
- 2 Sun Control**
Mindfully targeted roof overhangs, covered porch placement, recessed fenestration and horizontal and vertical brise-soleil elements controlling heat gain primarily on Southern & Western exposures
- 3 Porches**
To be located factoring sun control and connectivity to interior living spaces with large openings and screening options to truly blend usable interior and exterior uses and environments
- 4 Openings**
High performance windows and doors with contemporary trim, single and large multi-unit window with multi-leaf doors systems
- 5 PV/solar**
Passive Solar strategies as well as rooftop Solar and Photovoltaic systems are encouraged as part of Kettlesongs underlying Sustainability goals and values
- 6 Strategic Plantings**
Deciduous tree canopies for summer shading and Winter heat gain. Native Trees, Foundation Plantings and Wildflowers to encourage wildlife and blend home sites into Kettlesong's beautiful Habitat
- 7 Color & Material**
Natural palettes and materials, mono-chromatic and tone on tone combinations with Neutrals and deeply saturated woodland colors
- 8 Site Integrations**
Extend the architectural language of the home into site elements such as at grade paving, low fencing, walls and raised garden beds. Mindful siting and legacy tree preservation



THE KETTLESONG VERNACULAR HOUSES



THE KETTLESONG VERNACULAR
COTTAGES



THE KETTLESONG VERNACULAR
HOUSES



THE KETTLESONG VERNACULAR

MULTI-UNIT HOMES



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THE KETTLESONG VERNACULAR

MULTI-UNIT HOMES



THE KETTLESONG VERNACULAR

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THE KETTLESONG VERNACULAR

MULTI-UNIT HOMES



THE KETTLESONG VERNACULAR
MULTI-UNIT



THE KETTLESONG VERNACULAR
MULTI-UNIT



THE KETTLESONG VERNACULAR

TOWNHOMES



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THE KETTLESONG VERNACULAR

TOWNHOMES



THE KETTLESONG VERNACULAR

TOWNHOMES



THE KETTLESONG VERNACULAR

TOWNHOMES



NEIGHBORHOOD PATTERN

KETTLESONG'S BANDWIDTH

The following sections of this document create a framework of design elements to help maintain a cohesive and immersive environment that is natural and unique. These design guidelines are not meant to restrict creativity, but rather set a level of fit and finish that is endemic to a lasting community. At the end of the day, we want to ensure the planning and design at Kettlesong to embody the animating features of Kettlesong:

NATURE

COMMUNITY

LEARNING

SUSTAINABILITY



NEIGHBORHOOD PATTERN

KEY STEPS WHEN DESIGNING HOMES FOR KETTLESONG:

Understand Vision + Animating Features

The preceding sections of this guideline document spell out the overall focus of the community and design aesthetics

Determine Lot Size / Type

Each lot typology will have a separate set of zoning requirements (Setbacks, etc.) Additionally, Landmark lots will have additional requirements/features based on location.

Check Monotony Code Against Existing/Approved Homes

To ensure specific/stock designs can be built on the proposed lot, check existing/approved homes against the Monotony code to avoid duplication in close proximity.

Review the Details and Requirements for compliance

Homes at Kettlesong will be held to a high, but reasonable standard of design and execution. Please thoroughly review this section to ensure design details are compliant and adequately detailed for the field

Pick your Colors!

Kettlesong is meant to fun and vibrant! The color palette guidelines will help create interesting streetscapes that also cohesive and harmonious.



HOME PLACEMENT + ZONING

Building lots in Kettlesong range in size from 20'x125' to 70'x150'. Each homesite has unique challenges and also has opportunities to embrace its site. Consider the following elements when determining the location, massing, and layout of each house in relationship to the landscape.

Setbacks + Yards

Setbacks are important to ensure quality streetscapes, and the integrity of neighborhood adjacencies. Setbacks will vary by district and lot. The front facade zone requires that the front facade of the house must be within the demarcated area. Due to the irregularity of lots in Kettlesong, the front facade zone will vary in effort to maintain a consistent streetscape.

Lot Typologies

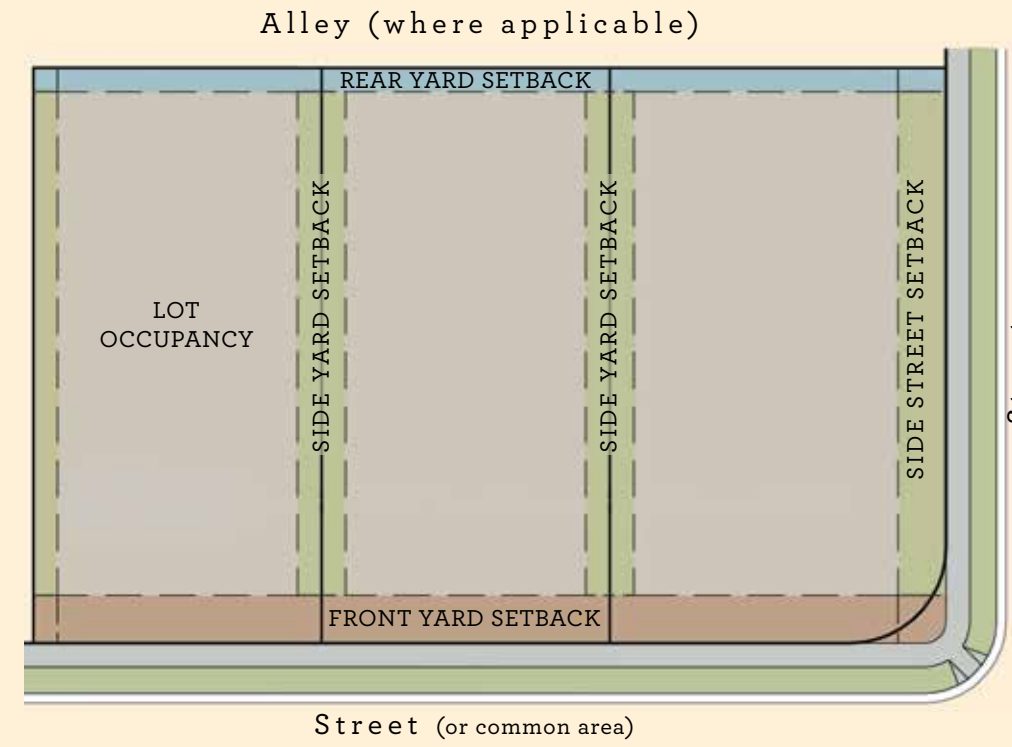
	Row House	Town House	Cottage	Houses	Large House	
LOT SIZE (w x d) average	20' x 125'	28' x 125'	40' x 125'	50' x 125'	70' x 150'	
HOME SIZE min/max	2,500 sf (0.06 ac)	3,500 sf (0.08 ac)	5,000 sf (0.11 ac)	10,500 sf (0.24 ac)	10,500 sf (0.24 ac)	
SETBACK	Front (min/max)	5'-10'	5'-10'	3' - 15'	10' - 15'	10' - 20**
	Rear	6"	6"	6"	6***	6***
	Side*** (min)	-	-	5'	5'	5'
STORIES	Primary Structure (#)	2-3	2-3	1-2	2-3	2-3
	Secondary Structure	-	-	1	2	2
	Trees	-	-	1 understory	2 understory, 1 shade	2 understory, 2 shade (if plan allows)

** Rear setbacks can be 18' to allow for surface parking (upon variance by the ARB).

*** Side setback can be a minimum of 3' so long as building separation, measured between exterior face of building, is a minimum of 10' for Studio and Cottage lots and a minimum of 12' for all other detached lots.

Three stories includes a basement level.

* If a detached garage is built, maintain minimum 5' off front property line.



RESIDENTIAL | DETACHED HOUSE LOT

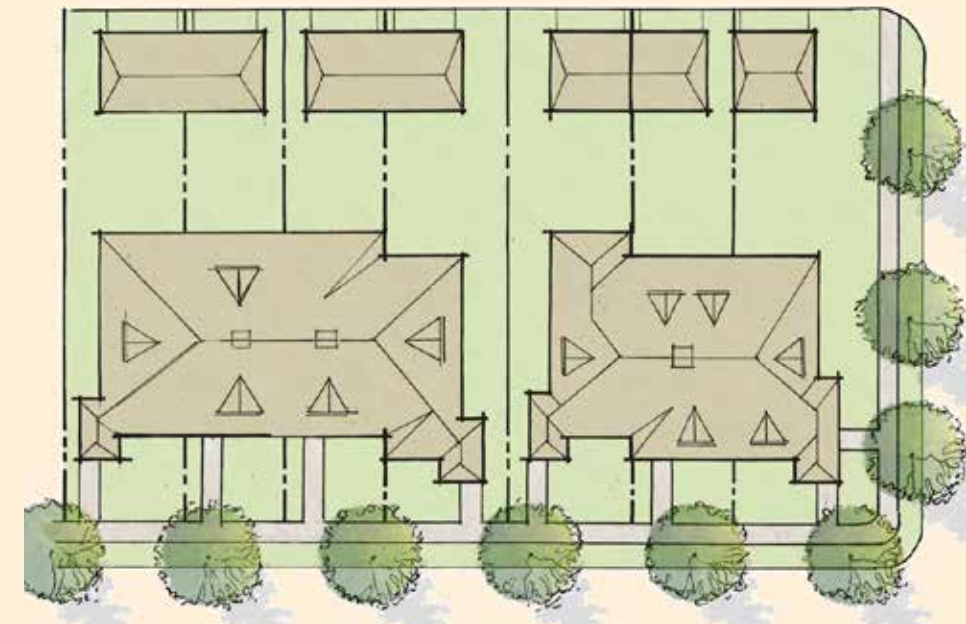
> Each lot has setback lines that define a minimum yard between houses, streets, and alleys. Lot occupancy areas have been identified in which houses shall be placed.

> Front Yard Setback: The front yard setback is the minimum distance between the exterior face of the structure and the front property line. Porches are allowed to encroach within this setback.

> Side Yard Setback: The side yard setback is the minimum distance between the exterior face of the structure and the side property line.

> Rear Yard Setback: The rear yard setback is the minimum distance between the exterior face of the structure and the rear property line.

> Side Street Setback: The side street setback is the minimum distance between the structure and the street or alley right-of-way. This condition occurs only at corner lots.



RESIDENTIAL | ATTACHED HOUSE LOTS

Rowhouse and town house lots are typically 20-30 feet in width and accommodate a range of housing types including townhouses, three-unit, four-unit, and five-unit houses. Townhouses may extend up to 6 units in a single contiguous building. They are alley fed, where applicable, and conform to the same lot configuration identified for Detached House Lots.

Garage Location

Well-crafted houses and their street presence are important in Kettlesong. Therefore, the scale and prominence of the garage must be mediated to allow the front facade of the house to come forward. The less visible and prominent a garage is, the better.



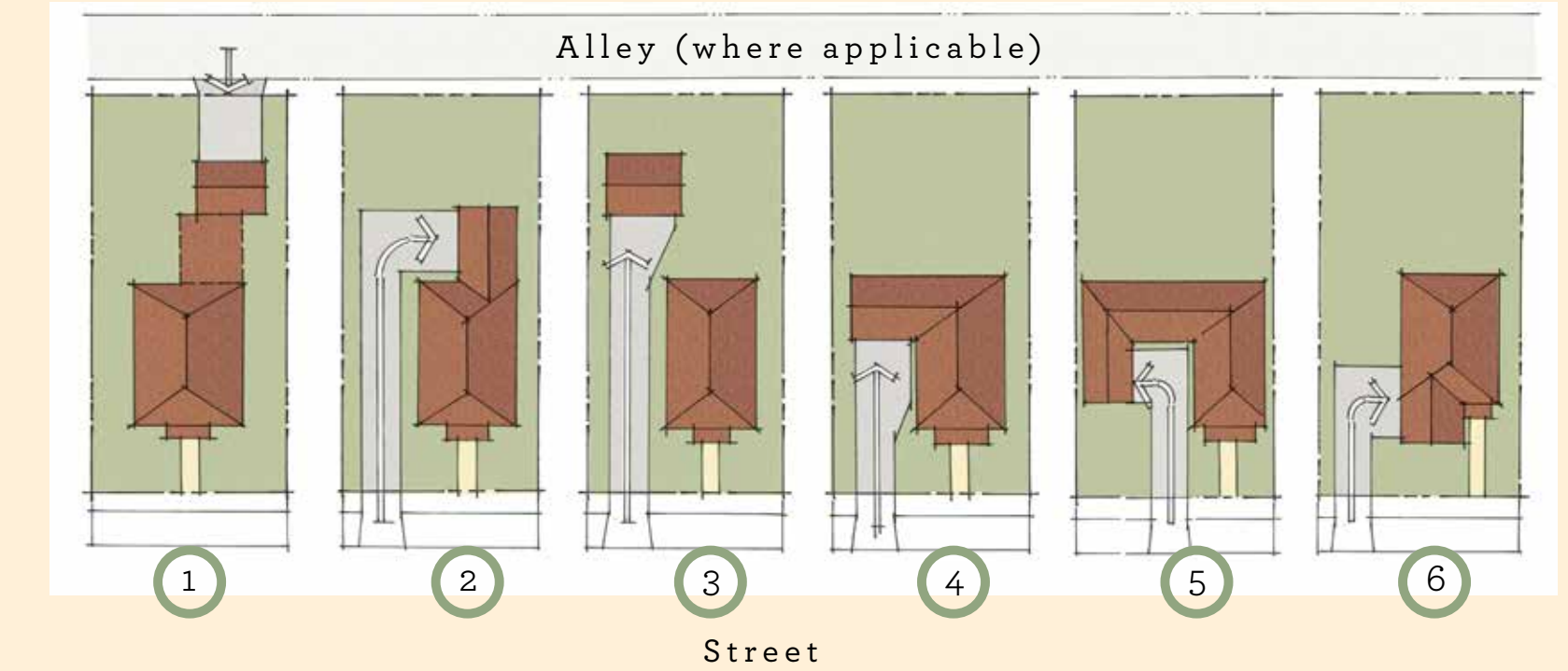
2



3



6



Garages serving residential units may be accessed using one of the methods identified below. Maximum width of driveways are 18' for a double garage and 12' for a single garage. Three car garages are allowed upon approval by the ARB; however, they should be the exception and not the rule.

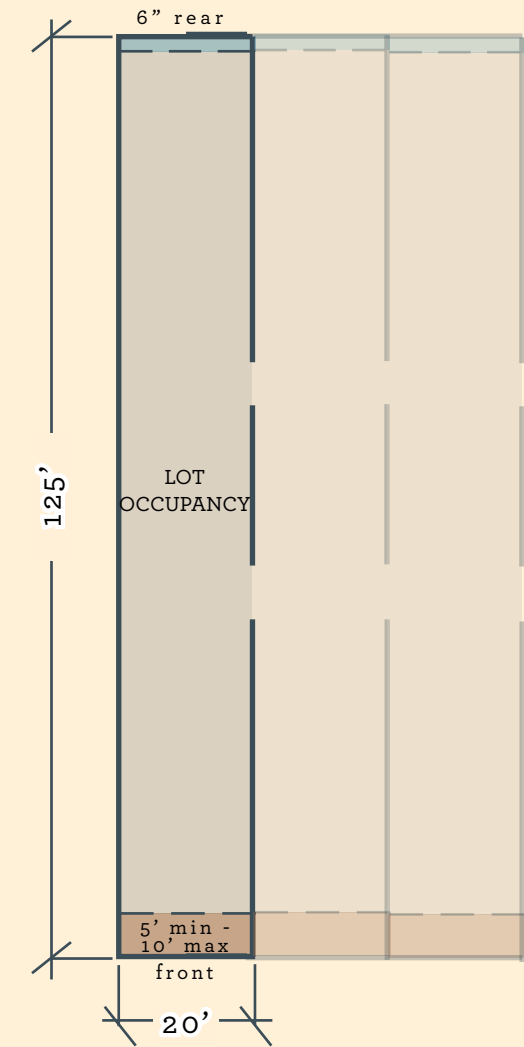
No single door of a garage shall be wider than 9 feet when facing a public street. If a two car garage faces the street, two separate garage doors shall be used; however two car garage doors that are accessed by an alley may have an 18' wide door. Corner lots with access to an alley must be accessed by the alley.

1. Alley Access: Access from the rear alley is the preferred method for garages. Garages that are accessed by an alley should be set back at a distance of 6" (or 18' upon variation request).
2. Slide By A: Access to an attached garage located at the rear of the house
3. Slide By B: Access to a detached garage placed behind the front façade.
4. Front Load Attached: Garage doors face the street. The garage must be set back a minimum 8' from the front yard setback and set back from the front façade a minimum of 5'. (max. width of an attached garage with doors facing the street is 24')
5. Front Load Attached (interior swing): Garage doors face the interior of the property, creating a motor court in the front yard. This configuration requires architectural articulation along the face of the garage, from the street.
6. Front Load Attached (exterior swing): Garage doors face the exterior of the property. This configuration will require architectural articulation along the face of the garage, and will require a wider lot due to the required turning movements.

* Driveway may be no more than 12' wide until 15' inside the lot measured from the lot line.

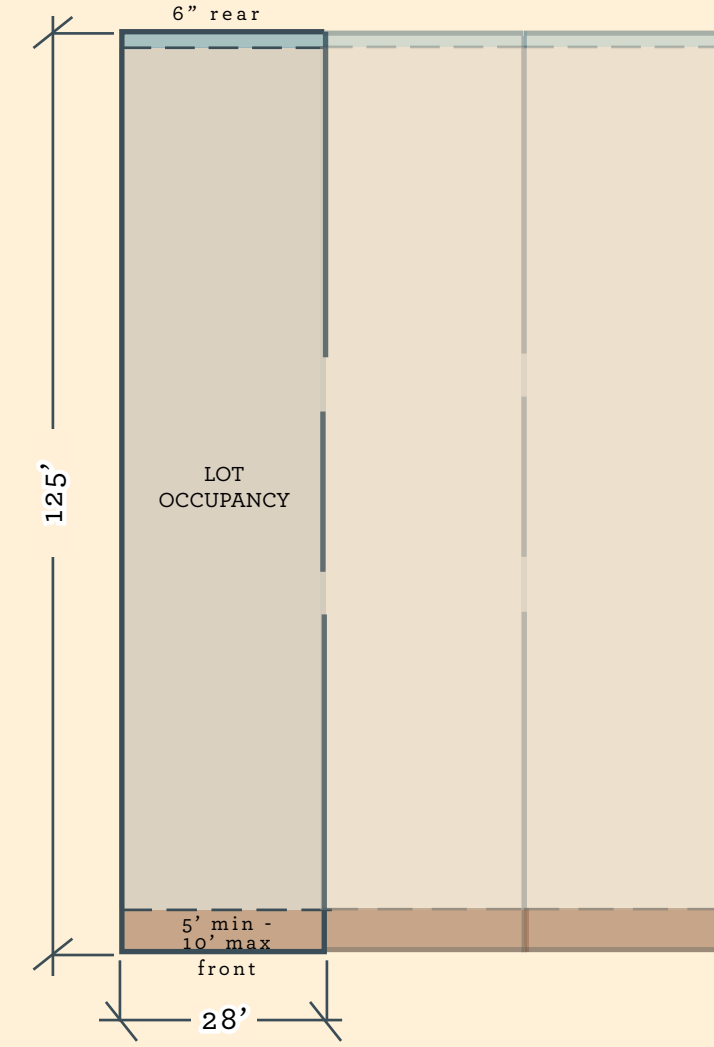
ROW HOUSES (TWIN HOUSES)

HOME SIZE
2,500 SF (0.06 ac)
Attached



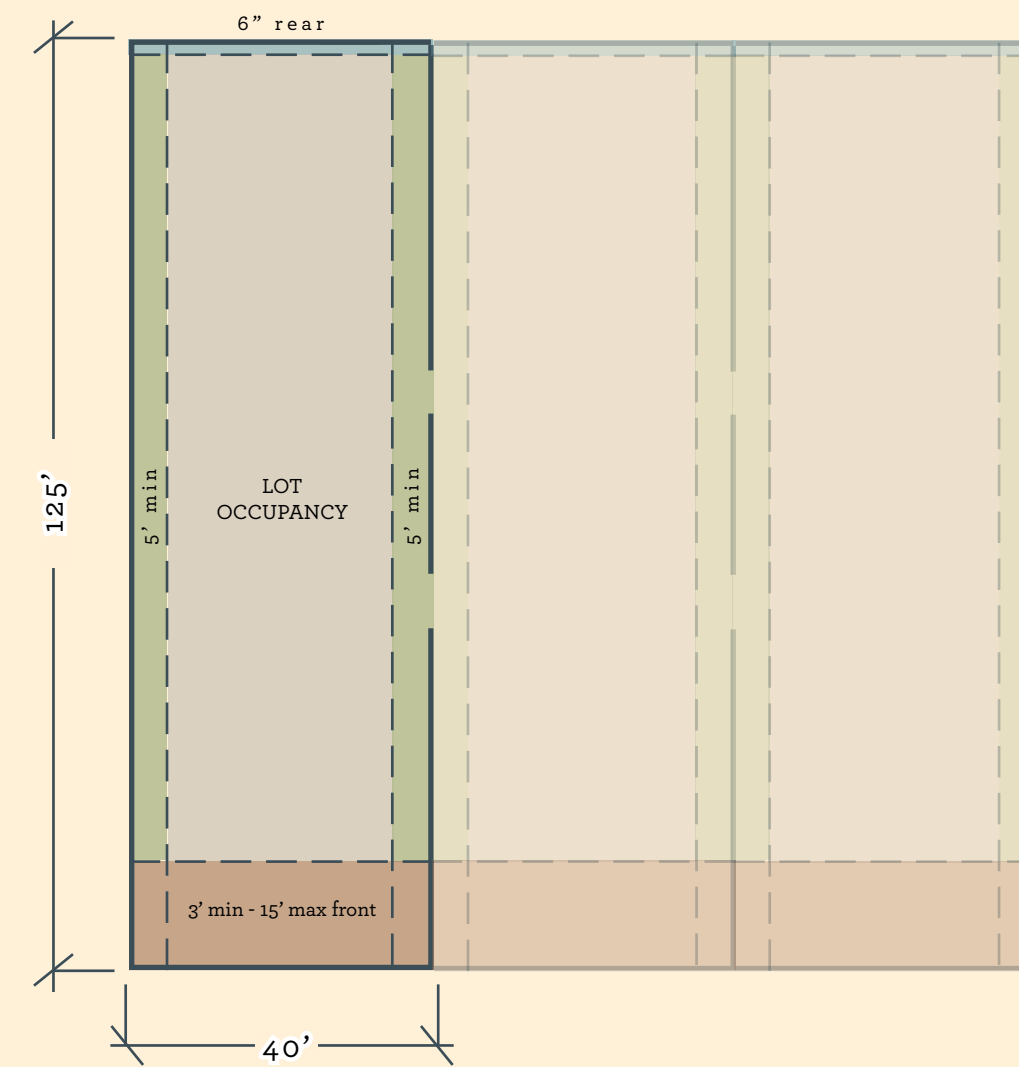
TOWNHOUSES (MULTIPLEX)

HOME SIZE
3,500 SF (0.08 ac)
Attached



COTTAGE / BUNGALOW

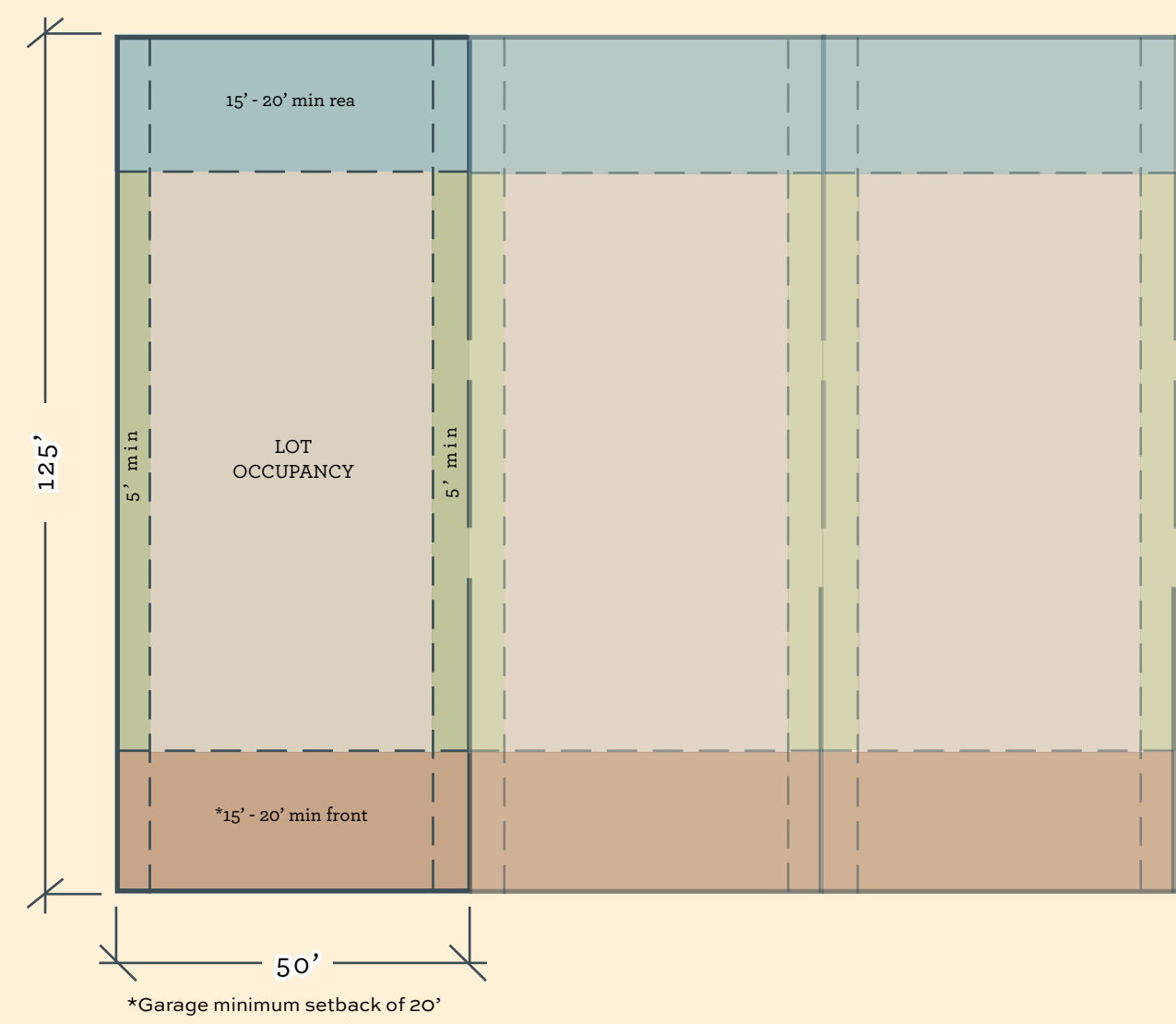
HOME SIZE
5,000 SF (0.11 ac)
Detached



HOUSES

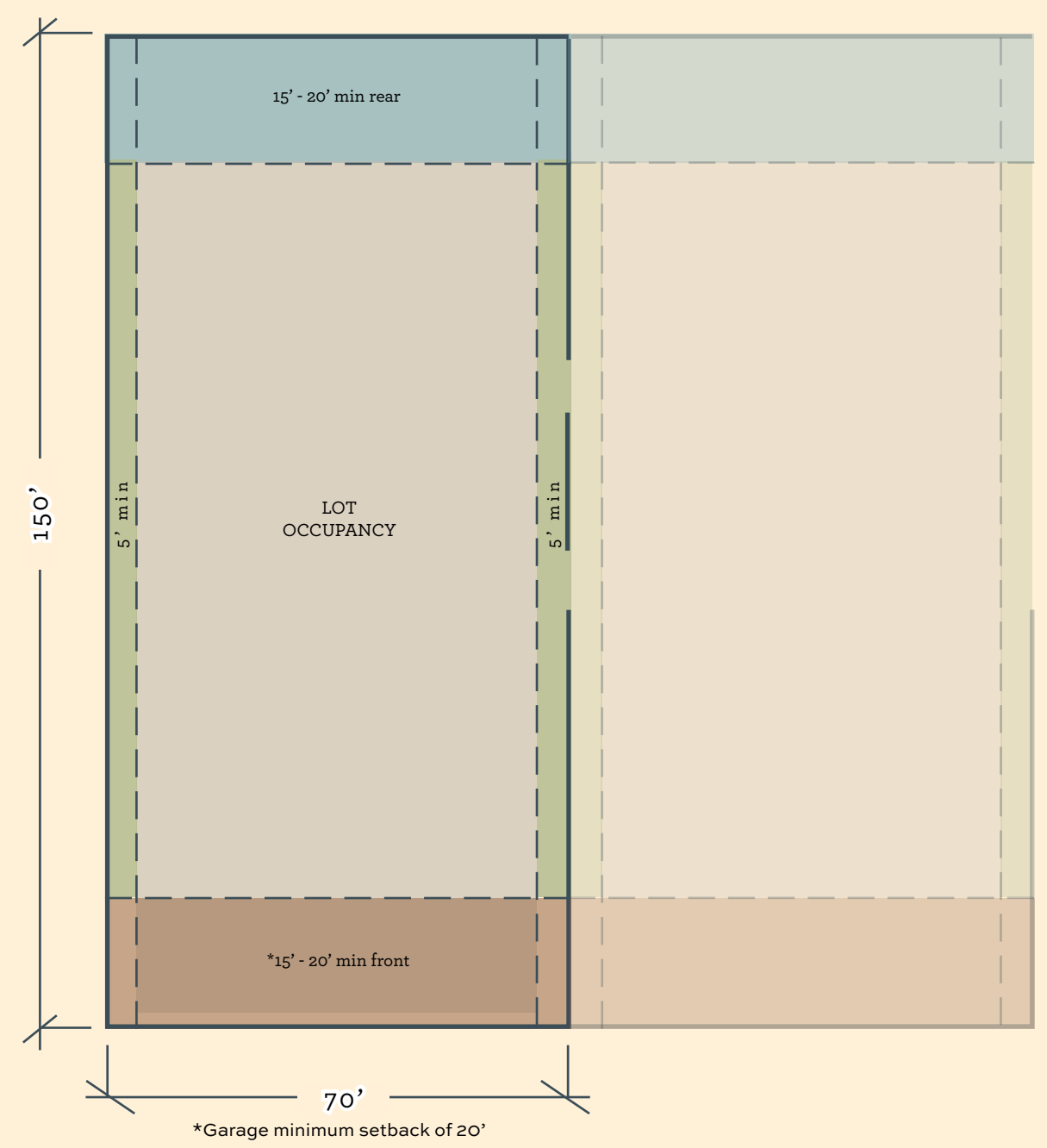


HOME SIZE
6,250 SF (0.14 ac)
Detached



LARGE HOUSES

HOME SIZE
10,500 SF (0.24 ac)
Detached



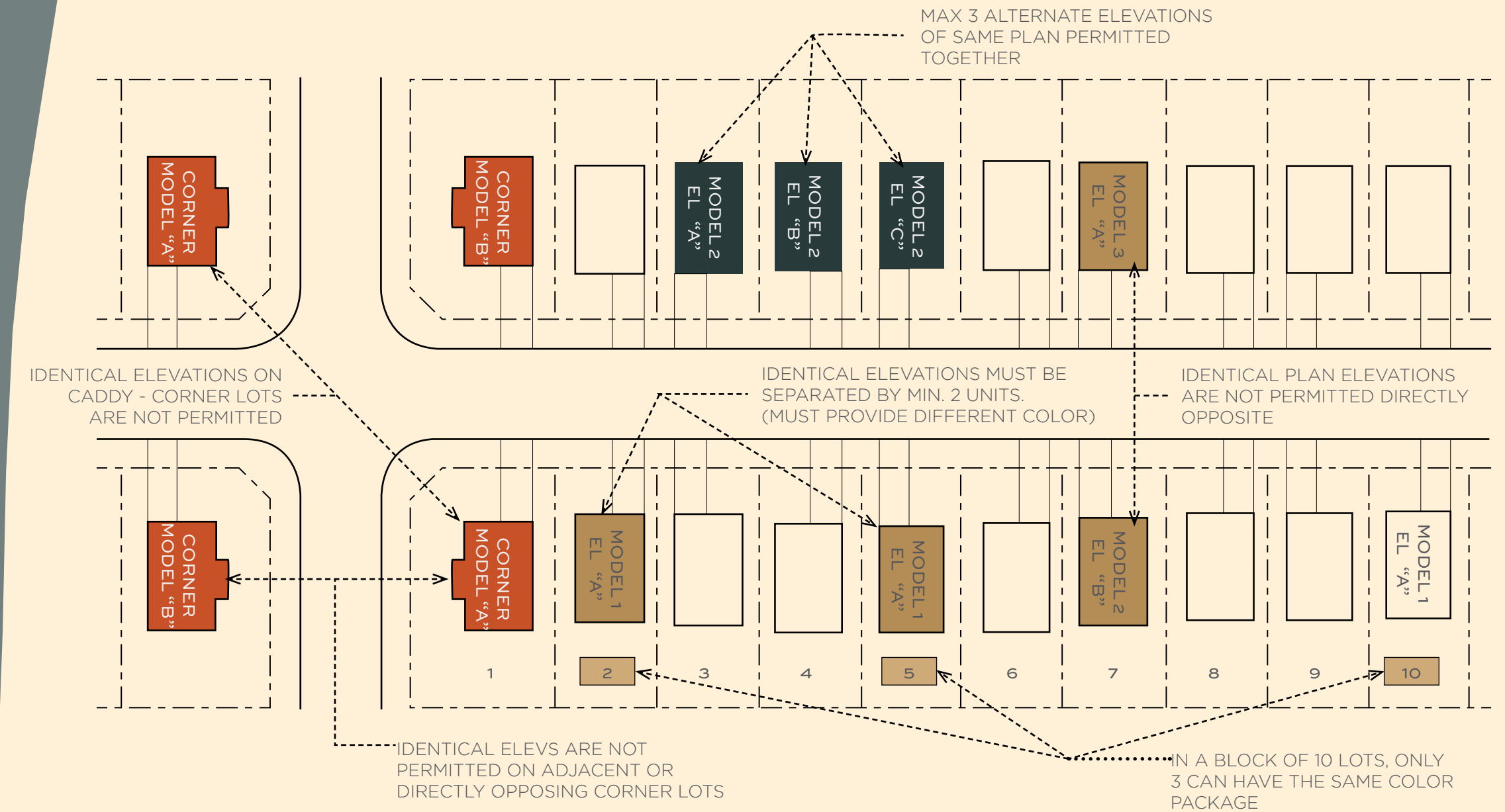
LANDMARK LOTS

While all homes are Kettlesong will be held to a high level of considerations, the lots identified to right will be require additional enhancements to address their unique conditions. Generally, these lots are of a higher visibility and/or unqiue adjacency to open space



MONOTONY CODE

The DRB for Kettlesong adopts a pragmatic approach to the reuse of plans, elevations, and paint schemes within a single community. A monotony code has been established to ensure repeated elements are appropriately distanced. Please refer to the diagram below when considering the reuse of floor plans, elevations, and paint schemes. All reuses are subject to approval of the DRB on a case by case basis. The diagram below is a general rule, but there may be unique cases due to planning configurations and topography that may warrant additional separations.



Simple forms distinguish a Kettlesong home from homes in other communities. The arrangement of interior spaces should be easily resolved under a single primary roof form.



Kettlesong is a natural playground. Strong connections between home interiors and outdoor spaces is a priority. Outdoor living spaces are where many families spend their perfect Sunday.

Roof Form

- The primary roof form must emphasize the main body of the home. Secondary roof forms should be subordinate to the main form.
- Lower roof heights and 1.5 story elements are encouraged to create a clear hierarchy in the house design. Where necessary in plan, correctly proportioned and detailed dormers are useful to bring in natural light and add square footage.
- Dormers may be no less than 2'-0" from end walls.
- Changes in roof form should coincide with a change in massing. Transitions in roof form (for example: a side gable to a front gable) along a flat elevation are generally not permitted. Dormers, when appropriately scaled and placed, are not included in this restriction.
- Flat primary roofs are generally discouraged and require special consideration from the DRB. Porticoes and bays may have flat roofs, subject to DRB approval.
- Flat glass skylights within the roof plane are permitted when not visible from normal public view angles. Acrylic Dome or Bubble

skylights are not permitted.

- The maximum height of a roof ridge shall be no more than 40'-0" above the average front grade of the lot under the building's footprint. This does not include chimneys or cupolas.
- Roof overhangs may exceed setback lines, but may not come within 3' of the lot line. Detached garages and auxiliary structures are not included in this restriction. All overhangs must adhere to code requirements for fire resistant construction as applicable.

Roof Materials

- Permitted materials include Architectural dimensional asphalt shingles, metal, shake, clay tiles, slate or synthetic slate. Prefinished metal in bright colors is prohibited. All prefinished metal specifications must be reviewed by the DRB.
- Gutters shall be half-round, or architecturally formed.
- Vent Pipes and all other roof penetrations (not including chimneys) must be hidden from public view angles, painted to minimize

visibility, and should be hidden from view from back or side yards whenever possible.

- Roof overhangs that drain onto adjacent lots must be guttered.
- Fascias, cornices, and soffits should be viewed as opportunities for architectural expression consistent with the architectural vocabulary of the house.
- Vinyl or aluminum materials are not permitted for fascias, cornices, friezes, and architectural trim elements. The only place that vinyl or aluminum is permitted are soffits. However, wood or composite materials are highly suggested.
- Solar panels must be integrated into the design of the roof and oriented for effective solar collection. Placement of solar panels is subject to review by the DRB.
- Rainwater collection is encouraged per Landscape Guidelines.
- Frieze boards are required to be of equal quality on all elevations of a building.

Form and Function

- Outdoor spaces should be extensions of indoor living space at Kettlesong, sized and placed to encourage frequent use rather than serving only as decorative embellishments to the building. They may occur where they are useful and where they enhance the design and character of the home, subject to review by the DRB.
- The scale, proportion, details, and materials of a porch, stoop, balcony, or portico must compliment the overall architecture of the home. These elements must have a clear hierarchical relationship to the home's other elements.
- A Porch is an architectural element that can emphasize a main entry. It may also be a furnishable outdoor living room.
- A Balcony provides elevated outdoor living, and also provides shade or overhead cover for the space below the balcony.
- A Stoop provides a landing space and shelter for an entry. It should help identify and enhance the entry it serves.
- A porch must have a minimum depth of 8'-0". A stoop or portico must have a minimum depth of 6'-0".

Details

- Porch, balcony, portico, and stoop details must be consistent with the home's style and with details on other parts of the home.
- When a front entry door or street-facing porches and balconies is screened or glazed, it requires special attention to remain open and welcoming. The DRB will carefully review screened and glazed porches.
- Cantilevered balconies and overhangs must be supported visually in proportion with the architectural vocabulary of the house.
- Architectural screening material (wood slats, etc.) at porches and balconies are allowed and encouraged where they can enhance privacy.
- Awnings and shade devices should contribute functionally and aesthetically to a house design. They should be consistent with the style of the house and are subject to DRB review.

Materials

- Porch, portico, or stoop floors may be concrete, brick, stone, exterior grade tile, composite wood, or wood.
- Porch, portico, or stoop foundations may be open with piers with the area between the piers screened or continuous, as appropriate to the style of the home.

Railings

- Railings are an opportunity for expression and added detail on a home. Creativity is encouraged in rail and picket design.
- Porch railings must adhere to all applicable codes.
- Railings must be consistent with the home's architectural character.
- Vinyl railings are NOT permitted.
- Aluminum railings must be approved by the DRB.

Columns

- Columns must be appropriate to the architecture of the house.
- Appropriate proportion, order, hierarchy, balance, and scale should be considered in the design of columns.
- The relationship between foundations, columns, and beams must be properly executed; the front face of the beam that a column supports must align with the neck of the column, and the column's base must be fully supported by the foundation.
- Columns must be wood, masonry, stone, steel, or a composite material. They must be properly flashed to ensure long-lasting resistance to water damage.

The primary entrance to a home is its public face. It greets neighbors, welcomes visitors, and represents its owner. It should embody the character, proportions and details of the house.

Beautiful windows are enjoyed every day, when we look out to the landscape or come home at the end of the day. Window selections and details contribute to the character, proportion, and scale of a home.



Entrances

- The primary entrance should be identifiable from the street, and be a significant architectural element in a front elevation that is balanced with other facade elements.
- The primary entrance must embody the character, scale, and detail of the overall house and architectural style.
- A primary entrance must have at least one of the following: Projecting door surround, portico, canopy, or porch. See the section regarding ‘Porches, Porticoes, Balconies, and Stoops.’

- A 6'-8" entrance tall door may be used if accompanied by a transom.
- Homes should have at least one sidelight at the front door. The sidelight(s) should be appropriate to the style and does not necessarily have to be full-height.
- Transoms must have a minimum glass height of 12" and should be integrated with the door in a single unit with continuous casing trim.
- Over-scaled, two-story or separate transoms not permitted.

Door Materials

- Doors, door frame, and door trim, shall be constructed of wood or composite material with a smooth finish. Doors may be solid, paneled, glazed, or a combination thereof.
- Metal doors are subject to review by the DRB.
- Leaded, etched, and curved glass on doors are not allowed. A

- curved transom may be permitted, subject to approval by the DRB.
- Sliding glass doors are allowed when appropriate to the house design and are subject to DRB approval.
- Storm or security doors may be considered, provided the design, material and color match the entrance door. Submit complete details for DRB approval.
- Unglazed double entry doors are prohibited.

Doors

- When paneled doors are used, they should have well-proportioned panels, moldings, stiles, and rails. Moldings should not be larger than stiles and rails, and panels should not be smaller than stiles and rails.
- False Door openings are not permitted.
- 8'-0" tall entrance doors are required if no transom is used. Exceptions may be considered if appropriate to the style, streetscape, and overall design.

Windows

- All major vertical surfaces should be articulated with windows. False window openings are not permitted.
- The size and proportions of windows should be appropriately scaled to the house and be a rational expression of interior uses. Window lights should be appropriately sized and proportioned (i.e. horizontal or vertical) for the style of the house.
- Window trim should be appropriate to the architecture of the home and be appropriate for the exterior wall material (for example: wood or composite material on a lapped siding wall, and a lintel or rowlock header on a brick wall). Vinyl window trim is not permitted.
- Window lights should be a consistent proportion, NOT a consistent number as the window sizes change (For example: A 4:1 light pattern on a 2'-8" x 6'-2" window may need to be a 2:1 light pattern on a 2'-8" x 3'-0" to maintain a consistent light proportion) Accent windows may be different, and should reflect interior uses. Window light patterns will be reviewed by the DRB for consistency and logic.
- On street-facing elevations, windows should be true or simulated divided

- lights with muntins projecting (minimum 5/8") from the outside surface of the glass. Window grills located between panes are permitted on other elevations. Window grills only located on the inside of glass are not permitted.
- Windows shall be constructed of wood with aluminum cladding, or solid PVC.
- All windows must have a construction profile that provides adequate depth and shadow line, as determined by the DRB.
- Clear glass is required in windows. Colored or tinted glass is only permitted in specialty windows and is subject to DRB approval. Reflective glass is NOT permitted.
- All window products must be submitted to the DRB for review and approval.
- All sides of a Kettlesong home are required to have similar window specifications and trims with the possible exception of muntins. All window products and details will be reviewed by the DRB for consistency on the entire house.

Shutters

- Shutter height shall be equal to the window opening height.
- Shutters must be sized to give the appearance of completely closing over the window.
- Shutters shall appear to be operable with appropriate hardware (i.e. hinges and shutter dogs along the bottom rail).
- Shutters may NOT be used on grouped windows and must be sized using similar criteria on paired windows.
- False, decorative shutters mounted directly to the wall are not permitted
- Shutters shall be paneled, louvered or board and batten, as appropriate to the architectural vocabulary of the house.
- Shutters shall be wood or composite material. Vinyl or aluminum shutters are not permitted.
- Vinyl awnings are not permitted.

DETAILS & REQUIREMENTS

FOUNDATIONS AND CHIMNEYS

Kettlesong homes should have an intentional relationship to the land, whether they are gracefully integrated into a hill, or lightly touch the earth. They should not tower over the land or be placed haphazardly.

EXTERIOR WALL MATERIALS & TRIM

The thoughtful use and detailing of materials brings integrity, long life, and sensible energy use to a home. A Kettlesong home uses materials to reflect a clear hierarchy of forms and includes a harmonious collection of prudent, well-executed details



Foundations

- Foundation heights and detailing should be appropriate for the change in grade over the site, so that the home is placed on the site with intention. It is recommended that there be a minimum of 3 steps to finish floor or porch floor. Alternate ground relationships must be reviewed by the DRB.
- Raised slab foundations are permitted at the discretion of the DRB.
- House foundations should be continuous masonry walls finished with cultured stone, stucco, brick, painted brick, stone or parged to blend with the palette of the home. Exterior wall finish materials are also allowed to extend to 6" above grade where appropriate for the design of the house, subject to approval by the DRB.
- Wood composite foundation vents are preferred. High quality Aluminum foundation vent blocks are acceptable when painted to coordinate with the palette of the home. Vents should be screened with landscape.
- Porches may have a continuous or pier & screen foundation. Masonry finished with cultured stone, stucco, brick, painted brick, stone, or parging are acceptable for walls and piers. The finish should complement the palette of the house.
- Infill screening between porch piers should be wood or composite material. Slats should be framed so that they do not sag or warp. Vinyl and aluminum are not permitted. Screening infill should be augmented by appropriate landscaping. See Section D: Landscaping Guidelines
- Sealed Crawlspace are highly encouraged

Chimneys

- Chimney massing and articulation should be simple, proportional to the overall house, and consistent with the architectural style of the house.
- Chimneys shall be constructed with foundations and be taller than adjacent eaves or roof ridges. Direct vent flues should not be visible from public view or extrude from chimneys.
- Fireplace chimney bump-outs may not be cantilevered. They must extend to the ground.
- Chimneys shall be faced with brick, painted brick, stone, approved cultured stone, or hardcoat stucco. Metal stovepipes must be well-detailed and proportioned to the house and appropriate to the house design. They must be approved by the DRB.
- Siding, trim and panel, or shakes on chimneys are not permitted.
- Chimney caps shall be made of dark copper, clay, stone, brick, or prefabricated metal and submitted for approval. Chimney caps should be consistent with the home's style
- Unfinished exposed flues and flue caps are NOT allowed. They must be clad in high quality materials intended for exposed, exterior use

Exterior Wall Materials

- Exterior wall materials should reflect the hierarchy of the massing of a home.
- The color, finish, and scale of materials should be consistent with the home's style.
- Changes in exterior wall materials must be logical and generally occur at an interior corner of a home's massing.
- Co-planar vertical material changes are not permitted. Horizontal co-planar material changes must be at a logical location (window sill height, window sash height, eave height, etc.) and articulated with trim, a masonry or stone cap, or similar.
- Similar materials should be scaled and finished so that each material is distinct and compliments the home's palette. Changes may be subtle, but should reflect design intent and consideration. (For example: a buff-colored brick adjacent to a beige-colored stone of a similar size could result in a monotonous facade and negate the reason for a material change)
- All materials will be reviewed by the DRB. The following materials are permitted, and materials not on this list require special approval:
 - Painted or stained, smooth bevel, or lap siding of wood or fiber cement with a 3" to 8" exposure.
 - Painted or stained board and batten of wood or fiber cement
 - Painted/stained wood or composite shake shingles
 - Brick or painted brick. Brick and brick colors shall be appropriate to the architectural style.
 - Hard-coat stucco.
 - Stone and cultured stone. All cultured stone should have the look of real stone and must be laid to resemble authentic stone masonry techniques and patterns. Using a variety of cultured stone pieces and the correct corner pieces/details is of the utmost importance.
- The following materials are not permitted:
 - Synthetic stucco (EIFS)
 - Aluminum and vinyl siding
 - Cultured stone without appropriate corner pieces/details

Trim

- Trim should be used to unify exterior facade elements.
- Fenestration and architectural trim must be articulated appropriately to the facade material. For example: A cast lintel may be used as a header for a window in a brick wall, while wood or fiber cement trim may be used for a window in a lapped siding wall.
- Aluminum and vinyl trim are not permitted. Additionally, Vinyl soffits are not permitted.
- Wood and composite trim must be appropriately scaled to the architecture of the house and the scale of the opening. In general, leg and head trim should not be less than 3.5" in width unless consistent with the design of the home and specifically approved by the DRB.
- Trim should abut, and not overlay exterior finish materials

A well-designed garage or carport is subordinate to the main form of the house and compliments its materials and details.



Garages + Carports

- All sides of garages and carports shall be designed and constructed to the same quality standards as the main house.
- The architectural style and character of garages and other detached structures shall be consistent with the main house.
- For front-facing garages, the front facade of the garage (or front-most plane of a carport structure) must be no less than 8'-0" behind the main front wall of the house unless otherwise approved by the DRB.
- Courtyard garages are not considered front-facing if the garage doors do not face the street. But if the courtyard garage doors are largely visible from the street, the DRB may require higher quality architectural details on the garage elevation.
- Detached garages located at the rear of the lot and side-loaded garages are preferred. Where front-loaded garages are necessary, the DRB will stringently ensure that the design and details of the garage compliment the home.
- A living space may be located above a garage or carport and accessed by interior or exterior stairs. Exterior stairs may not be on a street-facing facade and should be placed with minimum visibility from public areas and the street.
- Living spaces above garages are encouraged to be set into the roof form. 1 1/2 story masses are encouraged. Living spaces shall not project beyond the footprint of the garage below.

- The roof peak of garages and carports, including those with a second-level living space, must be lower than the main house.
- On garage entrance facades, the distance between the top of the garage doors and the lower edge of the eave should be minimized to prevent the appearance of a garage with a 'big forehead.'
- Only single width garage doors are permitted on garages facing the street. Each Garage door shall be no wider than 10'-0", and the doors must be separated by a wall at least 1'-0" wide.
- The maximum interior parking area for a single-car garage shall be 14'-0" x 24'-0." The maximum for a double-car garage shall be 26'-0" x 24'-0" unless otherwise approved
 - Maximum sizes do not include additions to the garage, including stairs to access living space above the garage, tool storage, work space, etc. The maximum size refers only the area dedicated to parking.
- Locate garages to minimize views of garage doors from streets and public amenities. Arbors, porte cocheres, and well-detailed fences and gates are effective means to minimize garage door views. See Section D, Landscape Requirements
- Consider the driveway as an asset. With proper design, it can be an outdoor room or courtyard space. Driveways may be designed and detailed to include pavers, grass ('ribbon driveways'), and pervious materials. See Section D. 'Landscape Guidelines'.

Details

- Garage doors must be constructed of high quality wood, wood composite, fiberglass, PVC, or metal
- Glazing is encouraged in garage doors
- The doors of attached, front facing garage doors are limited to a maximum width of 8'-0". 7'-0" is preferred.
- Detailing of garage doors should reflect the detailing of the house. In general, overly-simplified glazing and complex/ornate curves and details are not permitted.
- Panel and glazing patterns should reflect the proportions of the house design. When the windows and massing of the house emphasize the vertical, the details should also.
- Sticking that makes the garage door appear like a pair of carriage doors is encouraged when it is appropriate to the house design.
- Double garage doors (18'-0" maximum width) may be allowed on side load or detached garages at the discretion of the DRB when views of the doors are minimized from the street or sidewalk.
- Segmented roll-up doors are permitted when they reflect the design of the house.
- All garage spaces must include at least one window.
- Painted designs or bold colors that highlight garage doors are subject to DRB approval.

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LANDSCAPE GUIDELINES

In this section:

- 58 Kettlesong & The Landscape
- 60 General Guidelines
- 62 Landscape Character
- 64 Plant Materials
- 66 Hardscape, Fences & Walls
- 68 Material Guidelines
- 70 Sustainability

“TIME SPENT AMONG THE TREES, IS
NEVER TIME WASTED.”

- ANOYMOUS



A WORD ABOUT THE OUTDOORS...

THE KETTLESONG LANDSCAPE

Kettlesong is about connecting with nature, where the residential landscapes bleed into existing woodland and creek beds, and provide a place for flora and fauna to thrive. This scrutiny on the landscape is all part of the conversation of creating a community that is rooted in a deeper understanding of how it can contribute to the larger world by bringing nature home. Our region, not unlike others, were once highly diverse and highly functioning landscapes that were home to wide varieties of plant and animal life. Our monoculture suburban developments and sprawl have further fragmented these habitats. Kettlesong will be that connective tissue, where each home landscape will be thoughtfully designed to provide biodiversity to plant and animal life, but further create a great outdoor environment for patios, porches, seating areas, fire pits and pools. We think of Kettlesong as a seasonal garden, where finding a Monarch butterfly is a daily occurrence, hearing the birds is inevitable, walking in the woods is the norm, and fall becomes a spectacular display of color.

These landscape and hardscape guidelines are meant to a guide to the design of the exterior of the home. It is meant to lay out the ground rules, but the fun and enjoyment is left up to the homeowner.



THE PIEDMONT LANDSCAPE

Kettlesong is located in the Piedmont region in South Carolina, a region that is home to a wide verity of plant and animal life with its temperate weather and endless sunshine. While mixed hardwood and bottomland forests were once prominate, pine trees now dominate much of those areas because of the historic clearing for farmland during settlement times. The forest and the floor is known as the layered landscape, which provides food and shelter for a range of insect and animal life. The canopy layer in the Piedmont forest is home to a variety of oaks, maples, hickory, beech, tulip and black gum trees; the sub-canopy or understory layer of the forest would be dotted with dogwoods, red buds, and hornbeam species; the shrub layer full of blooming azaleas, rhododendrons, hydrangeas and viburnums; and the ground floor, where spring bluebells and irises would give way to a carpet of ferns, sedges and herbs throughout the year. This layering is what will inspire the natural environment at Kettlesong.



GENERAL LANDSCAPE GUIDELINES

Yards & Visual Importance:

Any area of a Lot that is visible from a public street takes on a “semi-public” character in that the visual quality of that portion of the Lot contributes to the overall quality and character of the community. It is the obligation of all Lot Owners, therefore, to landscape and maintain all such “semi-public” areas of their Lots with utmost care and consideration.

Celebrating the natural environment and the green corridors is a main goal of Kettlesong. To assist in blurring the lines between built environment and natural landscape, Lot Owners are required to implement rear yard plantings. These plantings shall generally occur within the 20 foot rear yard setback.

Foundation Planting:

When designing foundation plantings, several important factors must be considered. Select shrubs that will not overgrow the location at maturity (i.e., covering windows). Select evergreen shrubs to be planted adjacent to the house foundation to provide an aesthetically pleasing appearance during all seasons, rather than deciduous plants (which shed their leaves in the winter months). Select plant types and varieties that require moderate to low maintenance and pruning.

Locate foundation shrubs on either side of windows instead of directly under windows; this allows the shrubs more vertical growing room without blocking the window. Locate foundation plants far enough from the

foundation of the house to allow ease of maintenance access to the house. Decks and patios that are elevated above ground level shall be landscaped around their perimeters with appropriately sized plant material to screen the view of the space underneath the structure.

Foundation plants shall be layered from front to back, with taller plants (evergreen) at the back and successively lower plants in the front.

Drainage & Erosion Control:

Drainage considerations for individual Lots play an important part in the ecological balance of the community. Generally, where feasible, each Lot should be graded such that all water draining from such Lot does not drain onto any adjoining Lots. However, it is to be expected that lots with a lower elevation than adjoining lots will receive run-off from the lots situated on a higher elevation. During some rain events, the amount of run-off from neighboring lots may be considered excessive.

Water runoff for each individual Lot can possibly be handled by adequately sloping all areas so that runoff can be directed to the natural drainage areas or storm drainage facilities. Lot water runoff and control are the responsibility of each Lot Owner.

Corner Lots:

With regard to Landscape Improvements, corner Lots shall treat both facades and elevations of the house which face the streets with equal care and consideration. Both facades and elevations are “public” sides of the house to the degree that both elevations front on a street. Care and consideration shall be given in selecting plant material that will lend privacy to the rear yard by grouping evergreen trees and/or shrubs near the side right-of-way line.



Mulch Materials:

Annual flower beds and perennial flower beds shall receive two (2) inches of mulch. All planting beds and natural areas require a cover of three (3) inches of mulch. Acceptable mulch materials for covering planting beds and natural areas include pine straw, pine bark nuggets or shredded hardwood mulch. White gravel, crushed rock, lava rock and brick chips will not be permitted without the prior approval of the ARB. Consistent use of the same mulch material for any given Lot is required. Each Lot Owner shall be responsible for replacing and maintaining mulch material on such Owner’s Lot from time to time.

Landscape Lighting Systems:

Landscape lighting systems are encouraged, although approval of landscape lighting systems may be granted or denied by the ARB in its sole discretion. Landscape lighting systems shall be designed, installed and operated to enhance the architecture of the house and the Landscape Improvements on the Lot in a tasteful and subtle manner. Overlighting the house and/or landscaping shall be avoided. Landscape lighting shall be confined to the Owner’s Lot only, and no direct illumination from such landscape lighting shall encroach onto any other Lot or any other location beyond the boundaries of such Owner’s Lot.

Screening of Utilities :

All heating, ventilating, and air conditioning units, utility meters, electric utility transformer boxes, swimming pool pump equipment, permitted satellite dishes and similar equipment, apparatus and fixtures on each Lot, including all refuse containers stored outdoors, must be screened from view from streets and from neighboring Lots. Plants used as screening should be maintained by the Lot Owner so that the equipment, apparatus or fixture being screened is accessible (wherever possible) by service personnel and/or meter readers.

Plant materials for this purpose shall be installed using minimum five or seven gallon sizes, evergreen only. Recommended plant types include Otto Luykens Laurel, Schipka Laurel, Dwarf Burford Holly, Compacta Holly, Variegated Ligustrum, and Fortunes Osthmanthus.

Play Equipment:

Elements of a planned park or playground, swing sets, trampolines, basketball goals, and similar outdoor play structures and equipment must be located where they will have a minimum impact on adjacent and preferably in the rear of the lots where they will be screened from general public view.

Pools, Therapy Pools and Spas:

The size, shape and setting of pools (including standard swimming pools, therapy pools and spas) must be carefully designed to be compatible with the surrounding natural and man-made environment. In locating swimming pools, therapy pools and spas, the following shall be considered:

- 1) Indoor/Outdoor relationship;
- 2) Setbacks imposed by the applicable Building Envelope;
- 3) Views both to and from the pool area;
- 4) Terrain (grading and excavation); and
- 5) Fencing and privacy screening.

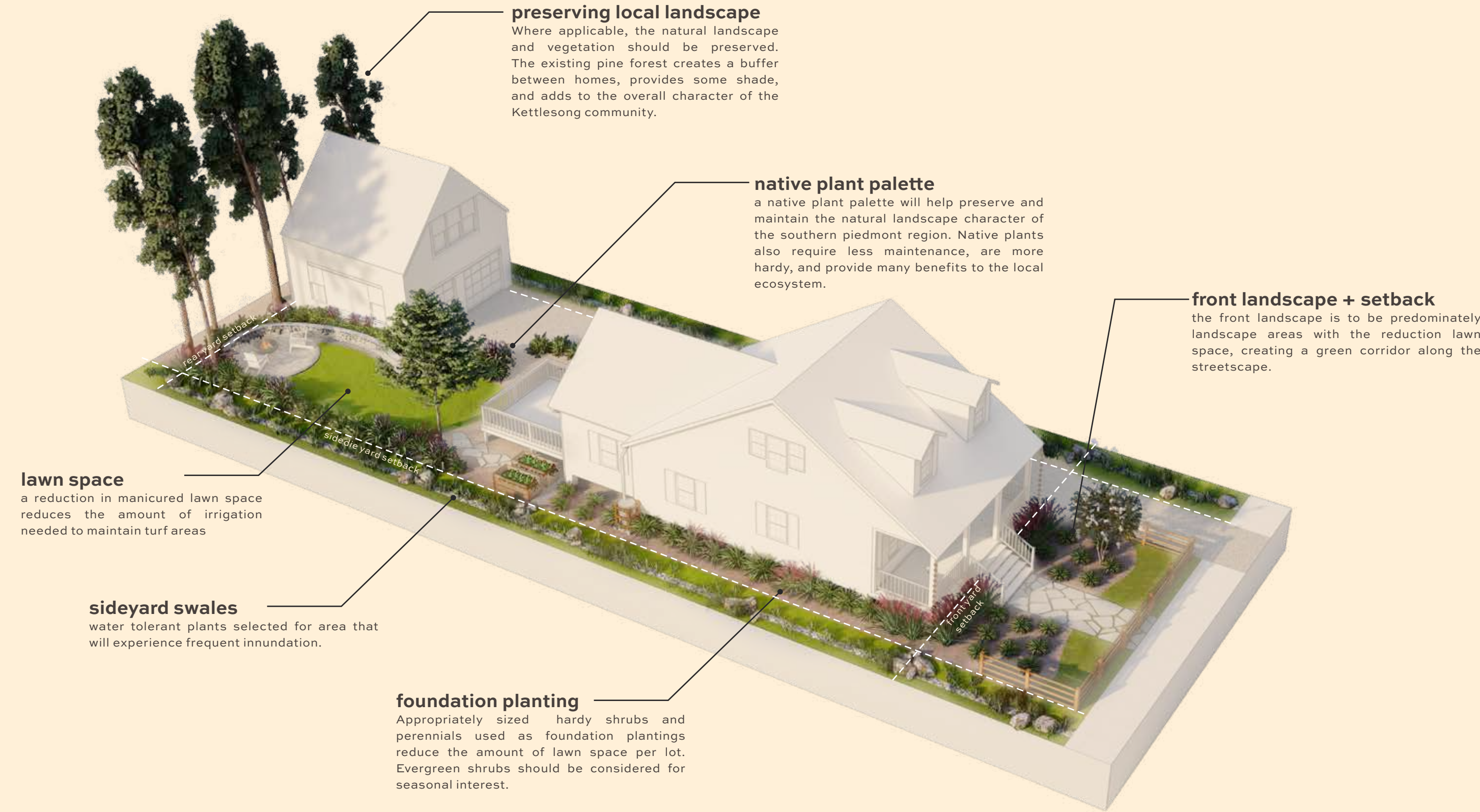
Pools, decks and related equipment will not be allowed outside of the Building Envelope area unless otherwise approved by the ARB. Pool and pool equipment enclosures must be architecturally consistent and harmonious with the residence and other structures on the Lot in terms of their placement mass and detail. Pools, decks and related equipment and pool equipment enclosures shall be screened or treated so as to avoid distracting noise and views. Locations of equipment granted or denied by the DRB in its sole discretion.

Fish Ponds & Fountains:

Fish ponds and fountains are permitted to be installed on Lots, subject to the ARB prior written approval. Generally, such site amenities must be restricted to rear yards only. Professional design and installation services are highly recommended for such amenities.



LANDSCAPE CHARACTER



preserving local landscape
Where applicable, the natural landscape and vegetation should be preserved. The existing pine forest creates a buffer between homes, provides some shade, and adds to the overall character of the Kettlesong community.

native plant palette
a native plant palette will help preserve and maintain the natural landscape character of the southern piedmont region. Native plants also require less maintenance, are more hardy, and provide many benefits to the local ecosystem.

front landscape + setback
the front landscape is to be predominately landscape areas with the reduction lawn space, creating a green corridor along the streetscape.

lawn space
a reduction in manicured lawn space reduces the amount of irrigation needed to maintain turf areas

sideyard swales
water tolerant plants selected for area that will experience frequent inundation.

foundation planting
Appropriately sized hardy shrubs and perennials used as foundation plantings reduce the amount of lawn space per lot. Evergreen shrubs should be considered for seasonal interest.

THE PLANTING :

The Piedmont landscape of South Carolina provides a diverse native plant palette. At Kettlesong, thoughtful plant selection will help preserve and bring native plants back into the landscape, enhancing the natural ecosystem. Native plants require less maintenance as they are adapted to the physical environment of the region, requiring less water and fertilization and typically resistant to the disease and harmful insects. Local wildlife also relies on native plant communities for food, shelter, and the pollination process. A priority at Kettlesong is to preserve the existing vegetation where possible and reintroduce native regional appropriate plant materials to the community.

TREES:

- Evergreen
 - American Holly (*Ilex opaca*)
 - Longleaf Pine (*Pinus*)
 - Southern Magnolia (*Magnolia grandiflora*)
 - Live Oak (*Quercus virginiana*)
 - Eastern Red Cedar (*Juniperus virginiana*)
 - Cherry Laurel (*Prunus caroliniana*)
- Deciduous
 - Oaks (*Quercus* Spp.)
 - Blackgum Tree (*Nyssa sylvatica*)
 - Tulip Poplar (*Liriodendron tulipifera*)
 - Red Maple (*Southern Sugar, Acer spp.*)
- Ornamental
 - Fringe Tree (*Chionanthus virginicus*)
 - Service Berry (*Amelanchier arborea*)
 - Redbud (*Cercis Canadensis*)
 - Dogwood, *Cornus florida*
 - Magnolia (*Magnolia virginiana*)
 - Hawthorn (*Crataegus marhallii*)



PLANT MATERIALS:

SHRUBS & ORNAMENTAL GRASSES

SHRUBS:

Evergreen

- Inkberry Holly (*Ilex glabra*)
- Wild Rhododendron (*Rhododendron maximum*)
- Florida Anise (*Illicium floridanum*)
- Coastal Leucothoe (*Leucothoe axillaris*)
- Dwarf Burford Holly (*Ilex cornata*)
- Distylium (*Distylium* spp.)

Deciduous

- Oakleaf Hydrangea (*Hydrangea quercifolia*)
- Arrowwood Viburnum (*Viburnum dentatum*)
- Virginia Sweetspire (*Itea virginica*)
- Piedmont Azaleas (*R. canescens*)
- American Beautyberry (*Callicarpia americana*)
- Mapleleaf Viburnum (*Viburnum acerfolium*)
- Fothergilla (*Fothergilla major*)
- Black Chokeberry (*Aronia melanocarpa*)
- Red Chokeberry (*Aronia arbutifolia*)
- Buttonbush (*Cephalanthus occidentalis*)
- New Jersey Tea (*Ceanothus americanus*)
- Summersweet (*Clethra alnifolia*)

GRASSES/SEDGES:

- Switchgrass (*Panicum virgatum*)
- Inland Sea Oats (*Chasmanthum latifolia*)
- Splitbeard Bluestem (*Andropogon ternaries*)
- Little Bluestem (*Schizachyrium scoparium*)
- Salt Cordgrass (*Spartina alterniflora*)
- Pink Muhly (*Muhlenbergia capillaris*)
- Pennsylvania Sedge (*Carex pennsylvanica*)
- Tussock Sedge (*Carex stricta*)
- Ivory Sedge (*Carex eburnea*)
- Blue-green Sedge (*Carex flacca*)



PLANT MATERIALS:

PERENNIALS AND GROUNDCOVER

PERENNIALS:

- Crested Iris (*Iris cristata*)
- Columbine, *Aquilegia canadensis*
- Atamasco Lily (*Zephyranthes atamasco*)
- Foamflower, *Tiarella cordifolia*
- Aster (*Aster* spp.)
- Wild Indigo (*Baptisia* spp.)
- Black Eyed Susan (*Rudbeckia fulgida*)
- Cardinal Flower (*Lobelia cardinalis*)
- Joe Pye Weed (*Eupatorium fistulosum*)
- Goldenrod (*Solidago* spp.)
- Purple Coneflower (*Echinacea purpurea*)

GROUNDCOVER:

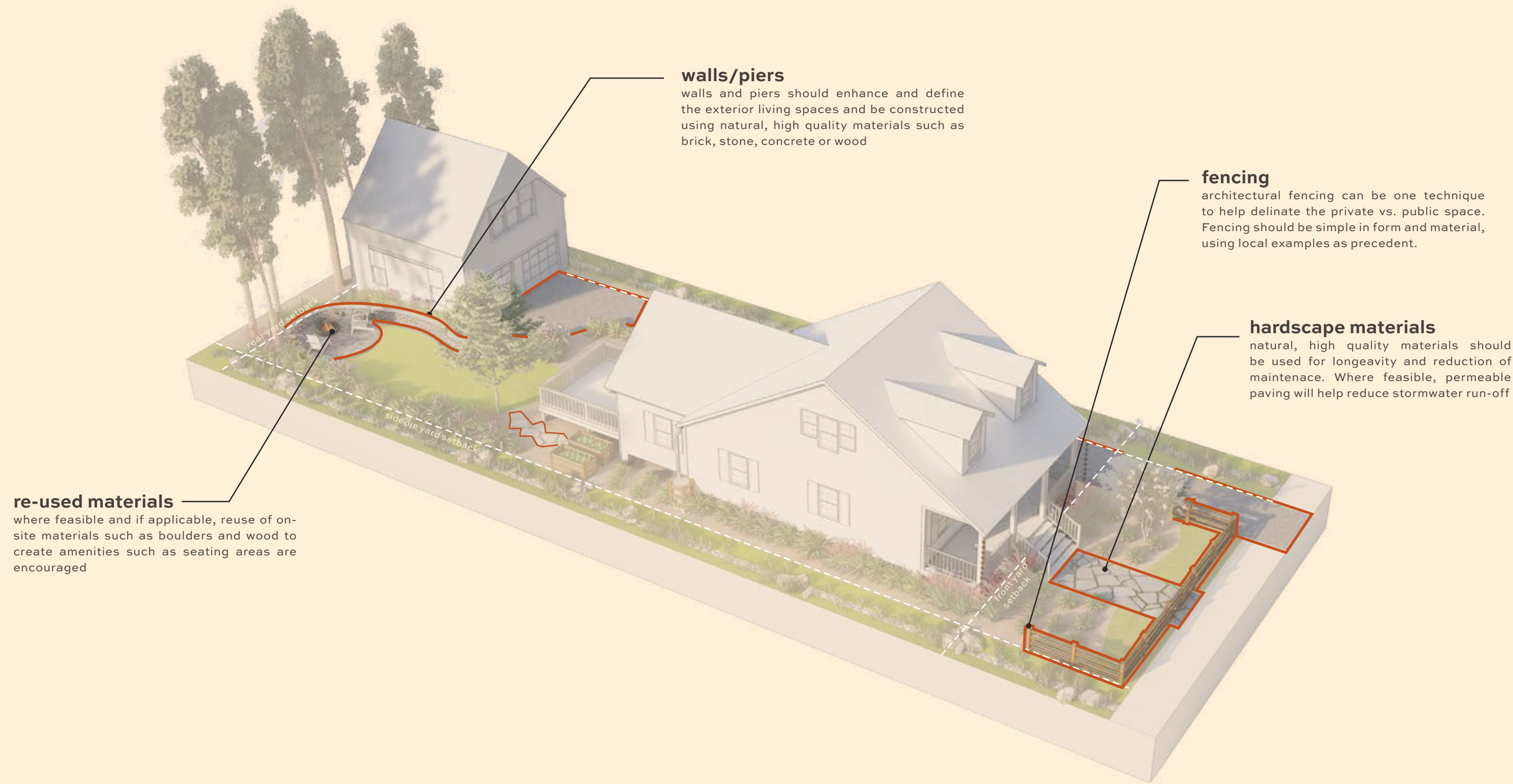
- Christmas Fern (*Polystichum acrosticoides*)
- Cinnamon Fern (*Osmunda cinnamomea*)
- Southern Shield Fern (*Dryopteris ludoviciana*)
- Japanese Spurge (*Pachysandra terminalis*)
- Lilyturf (*Liriope* spp.)
- St. John's wort (*Hypericum calycinum*)
- Lamb's Ear (*Stachys byzantina*)

The design intent is that a majority of the plantings are indigenous to the area.

While these are recommended species of perennials and groundcovers, the plant palette is not limited to this list.



HARDSCAPE, FENCING & WALLS CHARACTER



THE MATERIALS :

Materials chosen for the exterior spaces are meant to be rooted in local and regional materials, ones of quality and longevity that will require lower maintenance and upkeep over time. These materials should compliment and enhance both the landscape and architecture of each home, while also providing the visual delineation of space. Simplicity in design should be made a priority - patterning and changes of materials should be minimal. Fences and walls should be made of natural materials and should be an extension of the architecture with similar materials and form.



MATERIAL GUIDELINES



Fences, Walls, and Piers

Walls and fences shall be considered an extension of the architecture of the residence and a transition of the architectural mass to the natural forms of the Lot. All wall and fence designs shall be compatible with the surrounding environment. Special consideration must be given to design, placement, impact and view of the wall or fence from neighboring Lots. Fences and walls shall be considered as design elements to enclose and define courtyards, pools, and other private spaces, provide security and relate building forms to the landscape. The location, materials, size and design of all fences and walls must be approved in advance in writing by the DRB prior to installation. Privacy fences or walls which inhibit visibility (i.e., whether a solid masonry wall or wood fence) are not permitted in the Kettlesong community unless approved by the DRB. Once an approved fence or wall has been erected on a side Lot boundary which is a common boundary with another Lot, that approved fence

or wall design and material(s) will be the only approved fence or wall design and material(s) that may be erected on that common Lot line. No double fencing will be allowed on side or rear Lot lines. Gates are permitted and must open into the lot. Alterations of lot elevations and grades which create the need for retaining walls shall be the responsibility of the altering party. Specifically, any owner creating an earthen “cliff” over 12 inches in height on common lot lines due to their desired grading practices shall be responsible for designing and building a retaining wall. However, there may be some instances in which a wall is not warranted, e.g. the adjacent owners may alter their grade to match when they begin construction or; it is agreed upon by the parties involved that a transition slope can be created between the two properties in lieu of a wall, depending on side yard setbacks, driveway locations, and “cliff” height. It shall be the responsibility of the altering owner (the owner creating

the situation due to their grading practices) to identify and contact all parties involved and affected to facilitate negotiations and arrive at an agreed upon solution. A retaining wall that is attached to the residence on a Lot shall utilize the same materials as the residence wall that it adjoins, unless otherwise

Encouraged:	Allowed:	Not Allowed:
<ul style="list-style-type: none"> Picket fence (combined with brick or stone piers) Dry stack stone 	<ul style="list-style-type: none"> Natural wood picket fence (color must be approved) Wrought-iron fence (must be approved by DRB) Brick masonry (capped with brick only) Mortared field stone Stained concrete (color must be approved) Architectural stone veneer Black aluminum Landscape Timber 	<ul style="list-style-type: none"> PVC Fence - on case by case basis, not encouraged Chain link Split rail Prefab wood Prefab brick Welded wire fencing Railroad Ties



Walkways & Paths

A walk to the home from the public sidewalk is encouraged. As with the front yard, corner lot, and side yard, a plan identifying the walkway materials and pattern must be submitted for review and approval by the Design Review Board.

Encouraged:	Allowed:	Not Allowed:
<ul style="list-style-type: none"> Natural stone pavers Recycled brick pavers Flagstone stepping stones Crushed granite 	<ul style="list-style-type: none"> Pavers (stone, brick, concrete) Exposed aggregate concrete Stained stamped concrete (with approval from DRB) Grass Pave Gravel (color and size must be approved by DRB) Wood decking Landscape Timber Concrete, broom finish 	<ul style="list-style-type: none"> Asphalt Railroad Ties Mulch or wood chips

Patios

Patios within the front or side yards are encouraged for enhancement of the streetscape. A plan identifying the location and materials must be submitted for review and approval by the Design Review Board.

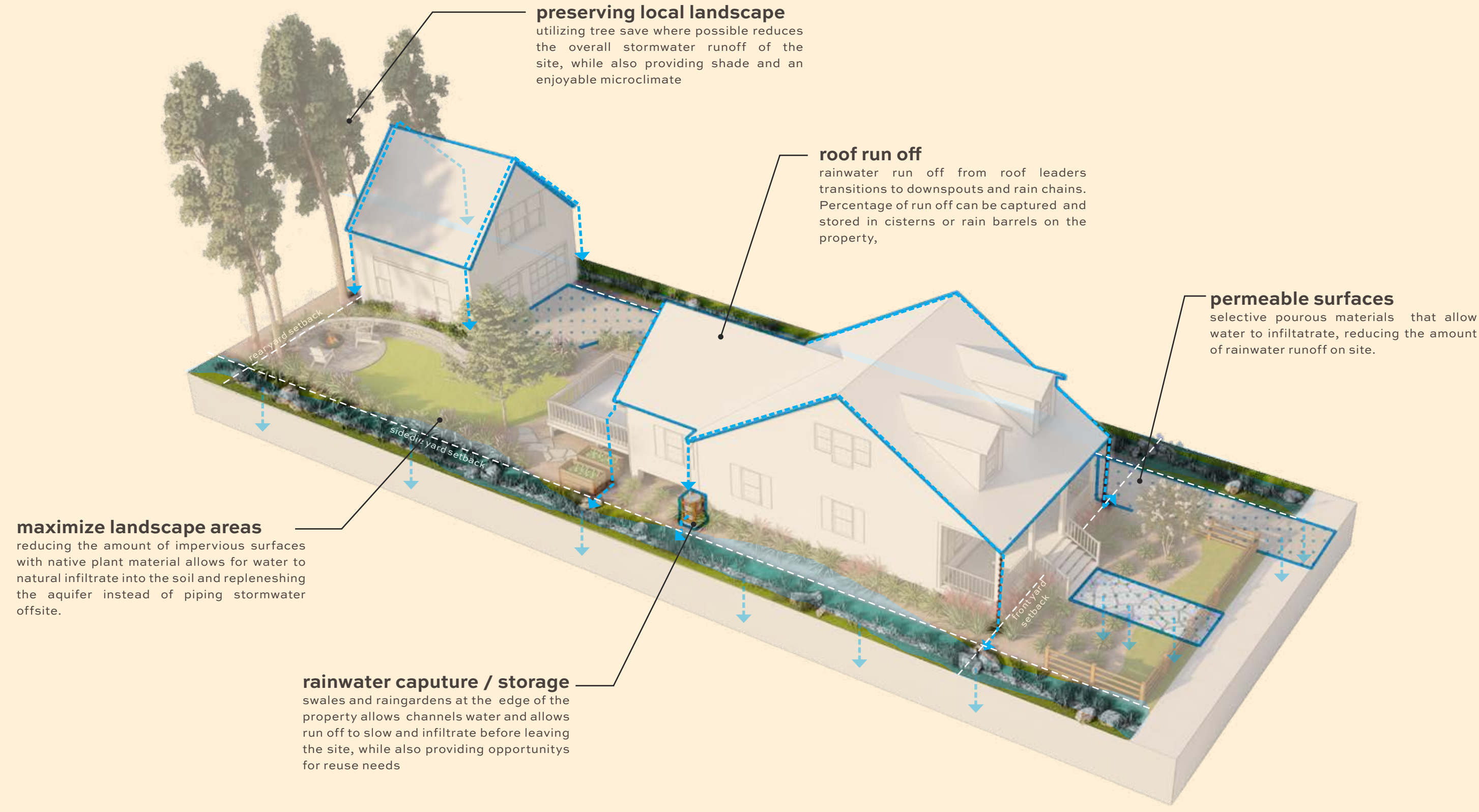
Encouraged:	Allowed:	Not Allowed:
<ul style="list-style-type: none"> Natural stone pavers Recycled brick pavers Exposed aggregate concrete Stained concrete with approved color and concrete pavers 	<ul style="list-style-type: none"> Pavers (stone, brick, concrete) Stained stamped concrete (with approval from DRB) Concrete Grass pave Gravel, such as pea gravel (color & size must be approved by DRB) Concrete, broom finish 	<ul style="list-style-type: none"> Asphalt Railroad ties

Driveways

A plan identifying the driveway materials and pattern must be submitted for review and approval by the Design Review Board. It is strongly encouraged to choose a pervious treatment. A 2’ minimum buffer between drive and side lot boundary is required unless approved by the DRB.

Encouraged:	Allowed:	Not Allowed:
<ul style="list-style-type: none"> Pavers Exposed aggregate concrete Stained concrete with approved color and concrete pavers 	<ul style="list-style-type: none"> Pavers (stone, brick, concrete) Stained concrete with stamp (with approval from DRB) Concrete Grass pave Gravel (color & size must be approved by DRB) Landscape ribbon strip 	<ul style="list-style-type: none"> Asphalt Mulch or wood chips

SUSTAINABILITY



MANAGING WATER :

Green infrastructure can be used on all residential home sites to provide ways to minimize surface run-off and further downstream issues such as flooding, water contamination and erosion. The goal at Kettlesong is to use a more ecologically-based stormwater management approach, which favors soft engineering (planting and materials) vs. hard engineering and conveyance systems. This approach provides an environmental benefit while also creating a value in the home landscape.



“FORGET THE MOTOR
CAR AND BUILD THE
CITIES FOR LOVERS
AND FRIENDS.”

- LEWIS MUMFORD

